



**AGENDA
FARRAGUT MUNICIPAL PLANNING COMMISSION**

**July 21, 2016
7:00 p.m. Farragut Town Hall**

For questions please either e-mail Mark Shipley at mshipley@townoffarragut.org or Ashley Miller at amiller@townoffarragut.org or call them at 865-966-7057.

- 1. Citizen Forum**
- 2. Approval of agenda**
- 3. Approval of minutes – June 16, 2016**
- 4. Election of Officers**
- 5. Approval of FMPC By-Laws**
- 6. Appointment of non-voting youth member**
- 7. Discussion and public hearing on a final plat for Sheffield Subdivision - Unit III, located off of Turkey Creek Road, Parcel 52.04, Tax Map 152, Zoned R-1/OSR, 50 Lots, 27.36 Acres (David B. Fiser, Applicant)**
- 8. Discussion and public hearing on a resubdivision of Lots 50, 51 and 61 of the Battery at Berkeley Park, located at the western side of Cotton Blossom Road, Parcels 50, 51 and 61, Tax Map 142A, Group D, Zoned R-1/OSR, 3 Lots, 1.366 Acres (Benchmark Associates, Inc., Applicant)**
- 9. Discussion and public hearing on a site plan for Autumn Care III Assisted Living, Parcel 117, Tax Map 142, Zoned S-1, located at 400 Herron Road, 4.68 Acres (Autumn Care III, LLC/Peter Falk, Applicant)**
- 10. Discussion and public hearing on text amendments to the Farragut Zoning Ordinance, Chapter 3., Section IX., Attached Single-Family Residential District (R-4), Subsection D.1.b., to amend the front yard setback provisions when parking garages are rear loaded (Benchmark Associates, Inc., Applicant)**
- 11. Discussion of intersection improvements at US-11/70 (Kingston Pike) and Watt Road**
- 12. Public hearing on proposed locations for new utilities**

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**MINUTES
FARRAGUT MUNICIPAL PLANNING COMMISSION**

June 16, 2016

MEMBERS PRESENT

Rita Holladay, Chairman
Ed St. Clair, Vice-Chairman
Ed Whiting, Secretary
Ralph McGill, Mayor
Louise Povlin, Alderman
Noah Myers
Rose Ann Kile

MEMBERS ABSENT

Betty Dick
Annette Brun

Staff Representatives: Mark Shipley, Community Development Director
Gary Palmer, Assistant Town Administrator

Chairman Holladay called the meeting to order at 7 p.m.

CITIZEN FORUM

None

APPROVAL OF AGENDA

Agenda items #4, #5 and #18 have been postponed by the applicants. Commissioner Myers moved to approve the June 16, 2016 agenda with the postponements. Motion was seconded by Commissioner St. Clair and the motion passed unanimously.

APPROVAL OF MINUTES

Alderman Povlin moved to approve the May 19, 2016 minutes. Motion was seconded by Commissioner Whiting and motion passed 7-0-2 with Chairman Holladay and Commissioner St. Clair abstaining because they were absent.

AGENDA ITEMS

DISCUSSION AND PUBLIC HEARING ON A FINAL PLAT FOR CHANTILLY ACRES AT MCFEE SUBDIVISION, LOCATED AT 932 AND 1006 MCFEE ROAD, PARCELS 18 AND 18.01, MAP 162, ZONED R-2, 5 LOTS, 5.46 ACRES (Southern Beach Holdings, LLC, Applicant)

Postponed by request of the applicant.

DISCUSSION AND PUBLIC HEARING ON A FINAL PLAT FOR SHEFFIELD SUBDIVISION - UNIT III, LOCATED OFF OF TURKEY CREEK ROAD, PARCEL 52.04, TAX MAP 152, ZONED R-1/OSR, 21 LOTS, 8.905 ACRES (Lynch Surveys, LLC, Applicant)

Postponed by request of the applicant.

DISCUSSION AND PUBLIC HEARING ON A RESUBDIVISION OF LOTS 1-3 OF FARRAGUT VIEW HOME SITES, LOCATED AT THE WEST INTERSECTION OF KINGSTON PIKE AND ADMIRAL ROAD, PARCELS 22-24, TAX MAP 143A, GROUP A, ZONED C-1 AND FPD, 3 LOTS, 2.22 ACRES (Urban Engineering, Inc., Applicant)

The staff noted that, in addition to approval of the plat, this item requires separate action on a variance from the Subdivision Regulations as it relates to the provision of pedestrian facilities.

The Subdivision Regulations require a pedestrian facility to be constructed on all collector streets which a subdivision fronts. Admiral Road is a collector street and the applicant is requesting a variance to omit approximately 80 linear feet of sidewalk due to topography and the narrowness of the existing crossing of Turkey Creek.

Staff recommended approval of the variance request to omit approximately 80 linear feet of sidewalk along the northernmost frontage of Admiral Road subject to the condition that a covenant or deed restriction that runs with the land be prepared by the applicant's attorney and then approved by the Town Attorney and recorded which would stipulate that, should the bridge be widened in the future, the property owner would be responsible for extending the sidewalk to the northern property line.

A motion was made by Commissioner Myers to approve the requested variance for topographic reasons subject to a plat note or other measure approved by the Town Attorney that would require the property owner to construct the remaining 80 linear feet of sidewalk should improvements occur to Admiral Road that would widen the culvert over Turkey Creek. Motion was seconded by Alderman Povlin and motion passed unanimously.

Staff recommended approval of the plat and that it be recorded prior to the issuance of a building permit and reference the covenant or plat note stipulated in the variance approval associated with the previous action.

A motion was made by Commissioner Myers to approve the plat and that it be recorded prior to the issuance of a building permit. Motion was seconded by Alderman Povlin and motion passed unanimously.

DISCUSSION AND PUBLIC HEARING ON A SITE PLAN FOR PREMIER EYECARE, LOCATED AT 11111 KINGSTON PIKE, PARCELS 22-24, TAX MAP 143A, GROUP A, ZONED C-1 AND FPD, 3 LOTS, 2.22 ACRES (Urban Engineering, Inc., Applicant)

The staff noted that, in addition to approval of the site plan, this item will first require separate action on a variance from the distance between driveways requirement in the Driveways and Other Access Ways Ordinance for both the access to Kingston Pike and to Admiral Road. A major arterial street, such as Kingston Pike, requires a minimum of 400 feet between access points. The proposed Kingston Pike access for this project is about 220 feet from Admiral Road but does generally line up with the easternmost access onto Kingston Pike for the Aspen Square Shopping

Center on the north side of Kingston Pike. Since the requested access is only a right in/ right out, the staff recommended approval of the requested variance.

A motion was made by Commissioner St. Clair to approve the Kingston Pike right in/right out access and the associated variance from the Driveways and Other Access Ways Ordinance since the access was not a full access and would line up with access on the south side of Kingston Pike and be spaced roughly equal distance between Admiral Road and the Farragut Corporate Center access to the west. Motion was seconded by Alderman Povlin and motion passed unanimously.

The staff noted that the access proposed along Admiral Road will also require a variance from the same requirement. Admiral Road is a collector street and is required a minimum of 200 between access points. The proposed Admiral Road access is roughly 140 feet from Kingston Pike. The access is proposed in this location due to topography resulting from proximity to Turkey Creek. The staff recommended approval of the requested variance due to topography.

A motion was made by Commissioner St. Clair to approve the Admiral Road access and the associated variance from the Driveways and Other Access Ways Ordinance due to topographic reasons. Motion was seconded by Commissioner Myers and motion passed unanimously.

The staff reviewed the site plan and questioned whether the building addressed the following aspects of the architectural design standards (ADS):

1. A defined cap for the building;
2. An iconic element; and
3. Avoiding a windowless façade area.

The staff noted that in addition to addressing any remaining ADS requirements, the approval of the site plan would be subject to the following conditions being completed as verified in writing by the Town staff:

1. Please include more variation of line thickness for the different elements associated with the floodplain (e.g. aquatic buffer, floodway, flood fringe, no fill line, etc.);
2. Please provide color renderings of the proposed building from all elevations;
3. Please submit the calculations for the percentage of masonry on the net façade area, note that CMU does not count as masonry;
4. Please verify that the building will be at least 60% brick or stone on the net façade area;
5. A variance from the requirement to construct a pedestrian facility along a collector street, such as Admiral Road, will be required for the section that is proposed to be omitted due to the stream crossing. This variance will be considered by the Board of Zoning Appeals;
6. Why is a temporary sediment trap shown in the erosion control plan? The staff had understood this area to be undisturbed. Also, on the grading and erosion control plan, please make the floodplain, floodway, no-fill and aquatic buffers lines more legible by utilizing a different line weight for each;
7. Prior to the issuance of a grading permit the water and sewer plan must be signed off by FUD;
8. Please correct the quantities shown in the site lighting fixture schedule and include the "SF" light fixture;
9. Please include specification sheets for all of the proposed light fixtures and on the site plan 24x36 sheets;

10. A cross section of the pole lighting is needed to verify compliance with the maximum height permitted;
11. As shown on the latest renderings, the HVAC units are still not concealed from adjacent properties or rights of ways. The parapet will need to be raised to screen these;
12. The landscape plan will be reviewed by the VRRB and requires a separate application. A grading permit cannot be issued until the landscape plan is approved;
13. Prior to the issuance of a Certificate of Occupancy a digital as-built will be required in a JPEG format;
14. Please provide an irrevocable letter of credit for erosion control for \$10,000;
15. Please provide a copy of TDOT access permit.

After a long discussion, a motion was made by Commissioner Myers to approve the site plan with the staffs' subject to's and the additional requirement that some modifications be made to the building's architecture based on the discussion at the planning commission meeting and such modifications be provided to the Town staff. The staff would then forward these to the commissioners for assessment which could involve a review at a subsequent planning commission meeting. Motion was seconded by Alderman Povlin and motion passed unanimously.

DISCUSSION AND PUBLIC HEARING ON A SITE PLAN FOR THE REMODELING OF SAAH SALON (FORMERLY AUBREY'S), PARCEL 137.11, MAP 142, ZONED C-1/MUTC, LOCATED AT 102 S. CAMPBELL STATION ROAD, 0.938 ACRES (Stuart Anderson, George Ewart Architect, Applicant)

Staff recommended approval subject to the new or modified lighting being field approved by Town staff. Any building and fire code issues would be addressed as part of the building plans review process.

A motion was made by Commissioner Myers to approve the site plan subject to the staff recommendations. Motion was seconded by Alderman Povlin and motion passed unanimously.

DISCUSSION AND PUBLIC HEARING ON A REQUEST TO AMEND THE 2012 COMPREHENSIVE LAND USE PLAN FOR A PORTION OF PARCEL 69, TAX MAP 142, NORTH OF THE FARRAGUT CHURCH OF CHRIST, 23.06 ACRES, FROM MEDIUM DENSITY RESIDENTIAL TO CIVIC/INSTITUTIONAL (Goodworks Unlimited, LLC, Applicant)

Staff recommended approval of the requested amendment to the future land use map subject to final approval of the rezoning of a portion of Parcel 69, Tax Map 142 from R-2 to S-1.

A motion was made by Alderman Povlin to approve the requested amendment to the future land use map subject to the rezoning approval associated with this portion of Parcel 69, Tax Map 142.

DISCUSSION AND PUBLIC HEARING ON A REQUEST TO REZONE A PORTION OF PARCEL 69, TAX MAP 142, NORTH OF THE FARRAGUT CHURCH OF CHRIST, 23.06 ACRES, FROM R-2 TO S-1, A PORTION OF PARCEL 69 AND 69.01, TAX MAP 142, EAST OF THE FARRAGUT CHURCH OF CHRIST, FROM R-2, B-1, AND C-1 TO O-1, 3.44 ACRES, AND A PORTION OF PARCEL 69.01, TAX MAP 142, FROM O-1 TO C-1, 4.76 ACRES (Goodworks Unlimited, LLC, Applicant)

Staff recommended approval of Resolution PC-16-08 which recommends approval of Ordinance 16-12.

A motion was made by Commissioner St. Clair to approve Resolution PC-16-08. Motion was seconded by Commissioner Whiting and motion passed unanimously.

DISCUSSION AND PUBLIC HEARING ON A REQUEST TO AMEND CHAPTER 3., SPECIFIC DISTRICT REGULATIONS, SECTION XII., GENERAL COMMERCIAL DISTRICT (C-1), SUBSECTION C.1., FRONT YARDS, TO ALLOW FOR ADDITIONAL FRONT YARD SETBACK PROVISIONS, TO AMEND SUBSECTION E., PARKING, TO ALLOW FOR ADDITIONAL PROVISIONS, AND TO CREATE SUBSECTION F., STREETScape AND OUTDOOR OPEN SPACE, SUBSECTION G., CONNECTIVITY, AND SUBSECTION H., LOW IMPACT DEVELOPMENT (MBH, Inc., Applicant)

Staff recommended approval of Resolution PC-16-09 which recommends approval of Ordinance 16-13.

A motion was made by Commissioner St. Clair to approve Resolution PC-16-09 subject to additional clarification being added to the phrase "context appropriate." Motion was seconded by Alderman Povlin and motion passed 6-0-1 with Commissioner Myers abstaining.

DISCUSSION AND PUBLIC HEARING ON A REQUEST TO AMEND CHAPTER 3., SPECIFIC DISTRICT REGULATIONS, SECTION XV., REGIONAL COMMERCIAL DISTRICT (C-2), SUBSECTION C.1., FRONT YARDS, TO ALLOW FOR ADDITIONAL FRONT YARD SETBACK PROVISIONS, TO AMEND SUBSECTION E., PARKING, TO ALLOW FOR ADDITIONAL PROVISIONS, AND TO CREATE SUBSECTION F., STREETScape AND OUTDOOR OPEN SPACE, SUBSECTION G., CONNECTIVITY, AND SUBSECTION H., LOW IMPACT DEVELOPMENT (MBH, Inc., Applicant)

Staff recommended approval of Resolution PC-16-10 which recommends approval of Ordinance 16-14.

A motion was made by Alderman Povlin to approve Resolution PC-16-10 subject to additional clarification being added to the phrase "context appropriate." Motion was seconded by Commissioner St. Clair and motion passed 6-0-1 with Commissioner Myers abstaining.

DISCUSSION AND PUBLIC HEARING ON A REQUEST TO AMEND CHAPTER 3., SPECIFIC DISTRICT REGULATIONS, SECTION XVII., OFFICE DISTRICT (O-1), SUBSECTION C.1., FRONT YARDS, TO ALLOW FOR ADDITIONAL FRONT YARD SETBACK PROVISIONS, TO AMEND SUBSECTION E., PARKING, TO ALLOW FOR ADDITIONAL PROVISIONS, AND TO CREATE SUBSECTION F., STREETScape AND OUTDOOR OPEN SPACE, SUBSECTION G., CONNECTIVITY, AND SUBSECTION H., LOW IMPACT DEVELOPMENT (MBH, Inc., Applicant)

Staff recommended approval of Resolution PC-16-11 which recommends approval of Ordinance 16-15.

A motion was made by Alderman Povlin to approve Resolution PC-16-11 subject to additional clarification being added to the phrase "context appropriate." Motion was seconded by Commissioner St. Clair and motion passed 6-0-1 with Commissioner Myers abstaining.

DISCUSSION AND PUBLIC HEARING ON A REQUEST TO AMEND CHAPTER 4., GENERAL PROVISIONS AND EXCEPTIONS, SECTION XX., PARKING AND LOADING., SUBSECTION A.5.I., INTERIOR (PARKING) ISLANDS, TO INCREASE THE INTERIOR ISLAND WIDTH AND PROVIDE FOR AN OPPORTUNITY FOR

STORMWATER TO DRAIN INTO PARKING LOT ISLANDS (Town of Farragut, Applicant)

Staff recommended approval of Resolution PC-16-12 which recommends approval of Ordinance 16-16.

A motion was made by Commissioner Myers to approve Resolution PC-16-12. Motion was seconded by Commissioner St. Clair and motion passed unanimously.

DISCUSSION AND PUBLIC HEARING ON A REQUEST FOR AN AMENDMENT TO CHAPTER 3, SPECIFIC DISTRICT REGULATIONS, SECTION XII., GENERAL COMMERCIAL DISTRICT (C-1), F., MIXED USE TOWN CENTER, SUBSECTION 2. B., OF THE FARRAGUT ZONING ORDINANCE, AND SECTION 9-406(8)(A) OF THE FARRAGUT SIGN ORDINANCE RELATED TO MENU BOARDS AND DRIVE-THRU CANOPIES (Paul Schaffer/Mike Channell, First Farragut Development, LLC, Applicant)

Staff recommended denial of Resolution PC-16-13 which recommends approval of Ordinance 16-17.

A motion was made by Commissioner Myers to approve Resolution PC-16-13 with Section 1 of Ordinance 16-17 being reworded as follows and deleting Section 2 in its entirety:

- a) The menu board and any associated apparatus shall be architecturally compatible with the principal building;*
- b) The menu board and any associated apparatus shall be screened with opaque materials (which may include evergreen plant material) so that, throughout the year, it is not visible from adjacent properties and/or rights of ways;*
- c) The screening plan for such menu board and associated apparatus shall be reviewed as part of the site and landscape plan review with the applicable standards in the Architectural Design Standards (ADS) also being applied; and*
- d) The menu board shall not exceed 36 square feet in size and 6 feet in overall height.*

Motion was seconded by Alderman Povlin and motion passed unanimously.

Staff recommended approval of Resolution PC-16-14 which recommends approval of Ordinance 16-18 with it being noted that this is a short term modification to the sign ordinance and will likely be changed when the sign ordinance is re-written to be content neutral.

A motion was made by Commissioner Myers to approve Resolution PC-16-14. Motion was seconded by Alderman Povlin and motion passed unanimously.

DISCUSSION AND PUBLIC HEARING ON A REQUEST FOR AN AMENDMENT TO CHAPTER 4, GENERAL PROVISIONS AND EXCEPTIONS, SECTION I., ACCESSORY STRUCTURES AND USES, SUBSECTION B., OF THE FARRAGUT ZONING ORDINANCE, TO PROVIDE FOR PROVISIONS FOR SCREENING OF MENU BOARDS AND DRIVE THRU CANOPIES (Paul Schaffer/Mike Channell, First Farragut Development, LLC, Applicant)

Addressed in previous agenda item.

DISCUSSION AND PUBLIC HEARING ON A REQUEST FOR AN AMENDMENT TO CHAPTER 3, SPECIFIC DISTRICT REGULATIONS, SECTION XII., GENERAL COMMERCIAL DISTRICT (C-1), F., MIXED USE TOWN CENTER, SUBSECTION 13., SIGNAGE, OF THE FARRAGUT ZONING ORDINANCE, TO ALLOW FOR SECONDARY WALL SIGNAGE IN THE C-1/MUTC (Paul Schaffer/Mike Channell, First Farragut Development, LLC, Applicant)

Staff recommended approval of Resolution PC-16-15 which recommends approval of Ordinance 16-19.

A motion was made by Commissioner Myers to approve Resolution PC-16-15. Motion was seconded by Commissioner St. Clair and motion passed unanimously.

DISCUSSION ON A REQUEST TO REZONE PARCELS 115.01 AND 116.01, TAX MAP 130 AND PARCELS 96 AND 96.01, TAX MAP 142, LOCATED ON GRIGSBY CHAPEL ROAD, 32.5 ACRES FROM R-2, R-4, C-2 AND FPD TO S-1 AND FPD (Diversified Holdings, Inc., Applicant)

Postponed by request of the applicant

PUBLIC HEARING ON PROPOSED LOCATIONS FOR NEW UTILITIES

None at this time

ADJOURNMENT

The meeting adjourned at 9:57 p.m.

Edwin K. Whiting, Secretary

MEETING DATE: July 21, 2016

REPORT TO THE FARRAGUT MUNICIPAL PLANNING COMMISSION

PREPARED BY: Ashley Miller, Assistant Community Development Director

SUBJECT: Election of Officers

INTRODUCTION AND BACKGROUND: The Farragut Municipal Planning Commission By-Laws require an annual meeting of the commission in which the officers of are elected, July has been designated for the annual meeting.

RECOMMENDATION: Nominate and elect the following officers:

Chairman –

Vice-Chairman –

Secretary –

MEETING DATE: July 21, 2016

REPORT TO THE FARRAGUT MUNICIPAL PLANNING COMMISSION

PREPARED BY: Ashley Miller, Assistant Community Development Director

SUBJECT: Approval of Planning Commission By-Laws

INTRODUCTION AND BACKGROUND: The Farragut Municipal Planning Commission By-Laws are to be reviewed and approved by the planning commission each year at their annual meeting. Based on the By-Laws, July has been designated the annual meeting.

DISCUSSION: Attached is a copy of the Farragut Municipal Planning Commission By-Laws as adopted on July 16, 2015. In 2015, the By-Laws were amended to allow for a non-voting youth member. However, based on a review of the By-Laws, no modifications are proposed at this time.

RECOMMENDATION: The staff recommends approval of the Farragut Municipal Planning Commission By-Laws.



**FARRAGUT MUNICIPAL PLANNING COMMISSION
BY-LAWS**

ARTICLE I. The Commission

SECTION 1. Name of Commission.

The name of the commission shall be the Farragut Municipal Planning Commission as established and provided by 13-4-101 through 13-4-105 of the Tennessee Code Annotated.

SECTION 2. Office of Commission.

The office of the commission shall be at the Farragut Town Hall, or such other duly authorized place where the official records of the planning commission shall be maintained and where the commission shall meet.

SECTION 3. Membership.

The membership of this commission shall be composed of seven voting citizen members, the chief executive officer (mayor) of the municipality, and one member of the chief legislative body. The chief executive officer and the member of the chief legislative body shall be ex-officio members with voting rights. Five voting members shall constitute a quorum.

All voting citizen members shall be appointed by the chief executive officer who shall also have the authority to remove any appointive member at his/her pleasure as provided for in 13-4-101 of the Tennessee Code Annotated. Additionally, the commission may appoint one (1) non-voting youth member by majority vote of the commission. The non-voting youth member's term may be for one calendar year or less depending on the youth member's availability. The non-voting youth member may be removed from the commission at any time by majority vote of the commission.

SECTION 4. Vacancies.

Any vacancy in an appointive membership shall be filled for the unexpired term by the chief executive officer of the municipality.

ARTICLE II. Officers

SECTION 1. Officers.

The officers of the commission shall be a chairman, a vice-chairman and a secretary.

SECTION 2. Elections.

The chairman, vice-chairman and secretary shall be elected at the annual meeting of the commission from among the appointive voting members to serve for terms of one year with eligibility for re-election.

SECTION 3. Chairman.

The chairman shall preside at all meetings of the commission. Except as otherwise authorized by resolution of the commission, the chairman shall sign all contracts, reports and instruments made by the commission. At each meeting, the chairman shall submit such recommendations and information as he/she may consider proper concerning the business affairs and policies of the commission.

SECTION 4. Vice Chairman.

In the absence or incapacity of the chairman, the vice-chairman shall perform his/her duties.

SECTION 5. Secretary.

The secretary shall keep a full record of all proceedings of the commission, including a record of all votes, in a journal of the proceedings kept for the purpose and identified as the "Minutes of the Farragut Municipal Planning Commission," and shall perform such other duties in regard to records, including certification of record transcripts, as the commission may direct. In addition, the secretary shall serve as chairman of the commission in the absence of both the chairman and vice-chairman. In the secretary's absence, the chairman or vice-chairman shall appoint an acting secretary. The secretary shall certify subdivision plats as directed in TCA 134-302 and shall have the same authority as the chairman to sign instruments made by the commission.

SECTION 6. Vacancies.

Should the office of chairman, vice-chairman or secretary become vacant, the commission shall, at its next regular monthly meeting, elect a successor in the manner prescribed for the election of such officer and such election shall be for the unexpired term of said office.

ARTICLE III. Meeting

SECTION 1. Regular Meetings.

The commission shall hold a monthly meeting at the Farragut Town Hall or at such other place or time as designated by the Farragut Municipal Planning Commission.

SECTION 2. Annual Meetings.

The annual meeting of the commission shall be held in July at the place established for regular meetings unless otherwise designated by resolution of the commission.

SECTION 3. Special Meetings.

Special meetings of the planning commission may be called for any purpose at any time by the chairman or by a majority vote of the members of the commission.

SECTION 4. Work Sessions.

Work sessions of the planning commission may be held at the regular monthly meeting or at such time, date and place as the commission may from time-to-time designate. Such sessions shall be for the purpose of reviewing and discussing appropriate issues provided that no resolutions shall be acted upon at a work session.

SECTION 5. Quorum.

A majority of the voting membership, as defined in Article I. Section 3, shall constitute a quorum for the purpose of conducting the business of the commission. In the absence of a quorum, a lesser number may adjourn meetings from time to time. Concurring votes of a majority of the commission members present, when a quorum is present, shall be required to take final action on any matter before the commission unless otherwise specifically provided for in the applicable provisions of the governing regulations. A majority of the entire voting membership shall approve documents and studies that pertain to the physical development of the municipality as defined in TCA 13-4-202.

SECTION 6. Manner of Voting.

The voting on all questions coming before the commission shall be by voice vote; and the ayes, naves and abstentions shall be entered upon the minutes of such meeting except when the vote is unanimous.

SECTION 7. Attendance.

If any voting planning commission citizen member fails to attend three consecutive regularly scheduled meetings and fails to present a reasonable excuse for such absence, his/her

membership shall be terminated and a new member will be appointed by the mayor to replace the terminated member.

SECTION 8. Conflicts of Interest.

Should any member consider his/her personal interests involved in any matter before the commission or should the planning commission consider that the personal interests of any member(s) were involved in any matter before the commission, that person(s) at his/her declaration may abstain from voting.

SECTION 9. Agenda Items.

Any subdivision plat, site plan, request for rezoning, request for ordinance text amendment, request for a variance from the Subdivision Regulations, or any other application must be complete and submitted to the planning staff in order to qualify for a meeting agenda.

ARTICLE IV.

SECTION 1. Amendments.

The by-laws of this commission may be amended at a regular or special meeting but no amendment shall be adopted unless at least four days' written notice thereof has been previously given to all members of the commission.

Adopted this ____ day of _____, 2016.

Chairman

Secretary

MEETING DATE: July 21, 2016

REPORT TO THE FARRAGUT MUNICIPAL PLANNING COMMISSION

PREPARED BY: Ashley Miller, Assistant Community Development Director

SUBJECT: Appointment of non-voting youth member

INTRODUCTION AND BACKGROUND: In 2015, the By-Laws were amended to allow for a non-voting youth member. The non-voting youth member's term may be for one calendar year or less depending on the youth member's availability.

DISCUSSION: Mr. Jack Coker, a resident of the town, has expressed interest in serving as the youth member on the Farragut Municipal Planning Commission. During an initial meeting with Mr. Coker, he expressed a genuine interest in planning and the community. He aspires to be a civil engineer and hopes this experience will help him have a better understanding of the planning and development process.

RECOMMENDATION: Per the By-Laws, the commission may appoint one (1) non-voting youth member by majority vote of the commission. Mr. Coker plans to attend the FMPC meeting and his application and letters of recommendation are included in your packet.

Print**Youth Representative Committee Application - Submission #3640****Date Submitted: 5/28/2016****Town of Farragut Youth Representative Committee Application****First Name**

Jack

Last Name

Coker

Address1

11512 Ivy Chase Lane

Address2**City**

Farragut

State

Tennessee

Zip

37934

Home Phone

(865)-966-5583

Email

jackocoker@me.com

Briefly describe your life goals/aspirations:

Lewis Mumford, an acclaimed 20th century philosopher on urban architecture, commented on modern development, "the end product is an encapsulated life, spent more and more either in a motor car or within the cabin of darkness before a television set." I aspire to use inspired urban engineering to fight against "an encapsulated life" and to grow stronger communities. My name is Jack Coker. I am a 17 year old homeschooled junior. My whole life has been spent in this area, as my family before me, the first Coker buying land here in 1792. Our area's rich cultural history fascinates me, and I want to do all I can to help Farragut move forward, while still being a good steward of our heritage. While Farragut grows and develops, we must keep in mind that our land is a physical container for our community values. I hope that through this youth committee position I can grow in knowledge about how we govern our land and what I can do with what I have been entrusted with, so that I may fight against the degradation of communities across our nation.

Which committees are you interested in serving:**First Committee Choice:**

Planning Commission (3rd Thursday of each month at 7pm at Town Hall) ▼

Second Committee Choice:

Economic Development Committee (1st Wednesday of each month at 8am at Town Hall) ▼

Third Committee Choice:

Museum Committee (4th Tuesday of each month at 1:30pm at Town Hall)

School Official or Sponsor Name

Robin Hill

Phone Number

(865)-966-9435

Please upload a letter of recommendation

Seth YanceyLetter of Recommendation for Jack Coker.pages

Lewis Mumford, an acclaimed 20th century philosopher on urban architecture.

commented on modern development, "the end product is an encapsulated life, spent more and more either in a motor car or within the cabin of darkness before a television set." I aspire to use inspired urban engineering to fight against "an encapsulated life" and to grow stronger communities. My name is Jack Coker. I am a 17 year old homeschooled junior. In my spare time I enjoy reading, working with my hands, and experiencing what creation has to offer through hiking, backpacking, and camping. I especially love exploring the region known as Elkmont in the Great Smoky Mountains National Park. Some of my favorite books are *Walden; or Life in the Woods* by Henry David Thoreau, *To Kill a Mockingbird* by Harper Lee, and *The Geography of Nowhere* by James Howard Kunstler. It is my plan thus far to study the diverse field of civil engineering in college, possibly focusing on urban engineering. A major goal in my life is to bring communities together, so that those who live after me will inherit better spaces than my generation. My entire life has been spent in the Farragut area, as my family before me, the first Coker in this region having purchased land here in 1792. Our area's rich cultural history fascinates me, and I want to do all I can to help Farragut move forward, while still being a good steward of our heritage. While Farragut grows and develops, we must keep in mind that our land is a physical container for our community values. I hope that through this youth committee position I can grow in knowledge about how we govern our land and what I can do with what I have been entrusted with, so that I may fight against the degradation of communities across our nation.

To Whom It May Concern,

I first met Jack Coker about 4 years ago and was very surprised at the time to later learn that I had been conversing with someone of middle school age. He spoke so lucidly and listened with such intent, I thought for sure I was speaking with someone who was much older.

Since that initial encounter, I have worked with Jack in our church's Trail Life USA troop. Jack is one of the more senior young men in the troop and has exhibited a natural ability to both effectively mentor and lead the other troop members. He finds time to do this on top of his rigorous school curriculum and working at Chick-fil-A.

Jack has also expressed to me that he wishes to pursue a career in Civil Engineering. I am a Registered Engineer and can attest that the engineering field can use more people like Jack. Since Jack's interests are aligned to the Civil Engineering field, and that field of work being generally focused on the material betterment of community infrastructure; I propose that Jack would be an ideal candidate as Committee Youth Representative for the Town of Farragut.

Sincerely,

**Seth M. Yancey
(404) 309-5270 Cell
Professional Engineer
State of Georgia
License No. PE033696**



529 Academy Way

Knoxville, Tennessee 37923

865-690-4721 phone

865-690-4752 fax

www.cakwarriors.com

To Whom It May Concern:

I am writing to you in regard to Jack Coker's student appointment to the Planning Commission for the Town of Farragut.

I highly recommend Jack for this position. With his interest in civil engineering and city planning, it is a perfect fit for him. I have been a home school counselor in the CAK Home Study Program for seven years, and I can attest that Jack has a maturity and appreciation for the community around him that is rare for a person his age. He cares deeply for the preservation and advancement of his community, and he has a passion for reintroducing a small town feeling to planning and design that will help reconnect neighbors and local merchants.

Academically, he has shown a commitment to his studies and has a GPA of 3.9. He is an excellent communicator both orally and in written form. Jack would certainly be an asset to your Commission, and his membership would be an investment in the future of Farragut.

Thank you for the opportunity of recommending this stellar citizen to you!

Shelly Powers

A handwritten signature in cursive script that reads "Shelly Powers".

Assistant Director, Home Study Program
Christian Academy of Knoxville

MEETING DATE: July 21, 2016

REPORT TO THE FARRAGUT MUNICIPAL PLANNING COMMISSION

PREPARED BY: Mark Shipley, Community Development Director

SUBJECT: Discussion and public hearing on a final plat for Sheffield Subdivision - Phase III, located off of Turkey Creek Road, Parcel 52.04, Tax Map 152, Zoned R-1/OSR, 50 Lots, 27.363 Acres (Lynch Surveys, LLC, Applicant)

INTRODUCTION AND BACKGROUND: At the August 20, 2015 Planning Commission meeting, the preliminary plat for Phase III of the Sheffield Subdivision was approved. This preliminary plat provided for the infrastructure necessary to finish out the Sheffield Subdivision. Phase III includes 48 house lots and 2 open space lots with a walking trail connection to the Turkey Creek Woods Subdivision. To the south is the Brixworth Subdivision and to the east is the Turkey Creek Woods Subdivision.

Since preliminary plat approval, the developer has been working on completing the required public improvements. They have now submitted a final plat for consideration so that individual lots can be platted and sold for construction purposes.

RECOMMENDATION: The revised final plat is included in your packet along with the staffs' comments on the original plat that was submitted for staff review. The staff will make a recommendation at the meeting based on whether the original comments have been satisfactorily addressed.

June 29, 2016

Mr. Ryan Lynch
Lynch Surveys, LLC
4405 Coster Road
Knoxville, TN 37912
rlynch@lynchsurvey.com

**SUBJECT: STAFF COMMENTS ON THE FINAL PLAT FOR PHASE III
(UNIT 3) OF THE SHEFFIELD SUBDIVISION**

Dear Ryan:

The Town staff has reviewed the above referenced plat for compliance with the Town's regulations. Please address the following comments and resubmit the corrected plat sheets by no later than **Monday, July 11**. When the plat is resubmitted, please include a letter which addresses these comments and that indicates where the information can be found on the plat sheets.

Planning Division: (Contact Mark Shipley at mark.shipley@townoffarragut.org)

1. Please submit a revised tree replacement plan for the trees removed on the open space. A completion letter of credit for \$11,500 will be needed prior to the staff signing off on the final plat;
2. Please complete all required public improvements;
3. Please provide stabilization per the Town's specifications;
4. Please update all plat notes. There are errors, omissions, and inconsistencies;
5. The plat references a Note #14 but it is not included;
6. All walking trails must be constructed prior to the staff signing off on the final plat;
7. Please show the walking trail (as constructed) and easement to Black Powder Drive;
8. Please revise Note 7 to reflect Phase III and the associated acreage;
9. Please revise the total coverage note to reflect Phase III;
10. Please include the lot and building coverage calculations on all plat sheets;
11. A determination from TDEC has yet to be submitted as it relates to Lot 60, is this lot buildable?
12. Please show the text of all drainage easements in bold text, some are already shown this way;
13. As a reminder, there is a traffic calming measure required within Lakehurst Lane in front of Lots 90 and 120 per the preliminary plat;

14. Please consult with the project engineer on the drainage easements currently shown and whether they are needed and/or additional easements should be platted;
15. As a reminder, the street lighting must comply with the Town's residential street lighting requirements;
16. Please include a numbered note which describes the purpose of the plat;
17. Please include the floodplain certification note which indicates that this property is not within a SFHA per the format in the subdivision regulations;
18. Is Lot 60 buildable? If so, please establish an MFE in accordance with the Town's Sinkhole Ordinance;
19. Please provide any necessary amendments to the covenants prior to the issuance of a building permit;
20. Are property owners being made aware of the FUD stamp that is being added to plats? Do they understand what this stamp means for their property?

Engineering Division: (Contact Darryl Smith at Darryl.smith@townoffarragut.org)

21. Please submit an as-built of the detention basin(s), along with a stamped letter of verification of volume, capacity and slopes;
22. Please provide an as-built in a JPEG format of the as-constructed improvements, including utilities;
23. All disturbed areas must be stabilized (covered in grass) prior to approval of this final plat;
24. Staff will calculate an amount for the two-year maintenance letter of credit;
25. Please complete all remaining items on any staff punchlist that will be provided as construction proceeds in this phase of Sheffield. Does the applicant wish to post a completion letter of credit for surface course and sidewalk? If so, staff can provide an amount.

In addition to the e-mail addresses provided above you may also call the designated staff person(s) at 865-966-7057 if you have any questions on the above items. Unless specified otherwise, please include all requested information on the plans. Thank you for your assistance.

Sincerely,

Mark Shipley, AICP
Community Development Director

Darryl W. Smith, P.E.
Town Engineer

TO: Mark Shipley, AICP - Community Development Director

CC: Darryl W. Smith, P.E. - Town Engineer

RE: Plat Review Comments for Sheffield Unit III

Below are line item responses to the above referenced Plat Review.

PLANNING DIVISION:

1. See attached Open Space Tree Plan by Michael Versen & Associates.
2. Responsibility of Contractor prior to recording of final plat.
3. Responsibility of Contractor prior to recording of final plat.
4. All notes have been updated and proofed.
5. Note 14 has been updated to refer to the letter submitted by engineer to the Town of Farragut in regards to lot 60 (see item 11).
6. Responsibility of Contractor prior to recording of final plat.
7. Due to heavy rain, the walking trails have not been completed at this time. Lynch Surveys will add the as-built location of the walking trail and its easement to Black Powder Drive to final plat prior to meeting.
8. Note 7 was revised to Unit III.
9. Total coverage has been revised for Unit III
10. Lot and building coverage calculations have been added to each sheet.
11. Per Rackley Engineering: "TDEC does not regulate a 50' set back from rim elevation of a closed depression, their only concern is storm volume going to a sinkhole.. Lot 60's encumbrance is the 50 ft set back required by the Town of Farragut Sinkhole Ordinance. We have provided a letter meeting the requirements of the TOF ordinance to allow a building within this set back. There is no and will be no response or determination from TDEC regarding construction within the Town's 50' set back requirement."
12. All Drainage Easement text should be bold now.
13. Responsibility of Contractor prior to recording final plat.
14. Drainage easements have been clarified and modified per meeting with Engineer.

15. Responsibility of Contractor prior to recording of final plat.
16. The purpose of plat numbered note has been added to plat in note # 15.
17. Floodplain certification note has been added to plat in note #16.
18. Per Rackley Engineering: "Yes, Lot 60 is buildable. It is outside of the closed contour and only encumbered by the Town's 50' set back requirement. Lot 60 is below (i.e. downhill) of the lip elevation of the contended closed depression. A minimum FFE is not relevant in this situation. If the depression was to fill with water, none would be on Lot 60."
19. Responsibility of Contractor Prior to recording of final plat.
20. Responsibility of Developer.

ENGINEERING DIVISION:

21. Certification letter from Rackley Engineering is attached.
22. Lynch Surveys will provide jpeg of as-built including utilities prior to recording of final plat.
23. Per Rackley Engineering: "TOF is holding a \$75,000 LOC for erosion control, final stabilization is part of the erosion control program for development projects according to TDEC. The site has been sowed and/or hydro-seeded. The town is more than secured with the erosion LOC to perform grassing in the event the developer defaults on re-seeding until 90% of the site is permanently grassed. We propose the Town hold on to the LOC until such time they feel stabilization is sufficient. Or release the erosion LOC and issue an alternate amount as a stabilization LOC to approve the plat in lieu of 90% permanent cover (as defined in ordinance). "
24. Per Rackley Engineering: "Please provide amount as soon as possible."
25. Per Rackley Engineering: "Please provide amount for sidewalks. Finished surface will be applied as soon as curbs have cured."

TOTAL AREA = 27.363 AC
1,191,951.74 SQ.FT.
TOTAL LOTS = 50

AREA CALCULATIONS				
UNIT #	AREA (SQ. FT.)	AREA (AC)	AREA (SQ. FT.)	AREA (AC)
UNIT 1	3,223,223.71	74.00		
UNIT 2				
UNIT 3				
UNIT 4				
UNIT 5				
UNIT 6				
UNIT 7				
UNIT 8				
UNIT 9				
UNIT 10				
UNIT 11				
UNIT 12				
UNIT 13				
UNIT 14				
UNIT 15				
UNIT 16				
UNIT 17				
UNIT 18				
UNIT 19				
UNIT 20				
UNIT 21				
UNIT 22				
UNIT 23				
UNIT 24				
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UNIT 26				
UNIT 27				
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UNIT 29				
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UNIT 32				
UNIT 33				
UNIT 34				
UNIT 35				
UNIT 36				
UNIT 37				
UNIT 38				
UNIT 39				
UNIT 40				
UNIT 41				
UNIT 42				
UNIT 43				
UNIT 44				
UNIT 45				
UNIT 46				
UNIT 47				
UNIT 48				
UNIT 49				
UNIT 50				

SYMBOL LEGEND	
○	IRON PIN (SIZE&TYPE)
○	IRON PIN SET
□	CATCH BASIN
⊙	SANITARY MANHOLE

Certificate of Ownership and Dedication
I (We) hereby certify that I am (we are) the owners of the property shown and described herein and that I (we) hereby adopt this plan of subdivision with my (our) free consent, establish the minimum building restriction lines, and dedicate all streets, alleys, walks, parks, and other open space to public or private use as noted.



- GENERAL NOTES**
- IRON PINS SET AT ALL CORNERS, BY THIS SURVEY, UNLESS OTHERWISE NOTED. (FINAL PLAT)
 - A FIVE (5) FOOT UTILITY, DRAINAGE AND CONSTRUCTION EASEMENT ON EACH SIDE OF INTERIOR LOT LINES, A TEN (10) FOOT UTILITY, DRAINAGE AND CONSTRUCTION EASEMENT ON INSIDE OF ROAD RIGHTS-OF-WAY AND EXTERIOR LOT LINES.
 - THIS PLAT REFLECTS A PORTION OF THE LAND INCLUDED IN THE PRELIMINARY PLAT FOR PHASE III OF SHEFFIELD AND ESTABLISHES 48 LOTS AND 2 OPEN SPACE LOTS.
 - DEED REFERENCE: INSTRUMENT NO. 200701290061440
 - PROPERTY SHOWN ON SELL 152 PARCEL 32.03
 - PROPERTY ZONE R1 OSR
 - TOTAL AREA UNIT IS: 27.363 ACRES=1,191,951.74 SF
 - LOTS 50 AND 76 ARE PERMANENT OPEN SPACE AND ARE TO BE MAINTAINED BY THE HOMEOWNER'S ASSOCIATION.
 - ALL WALKING TRAILS SHALL HAVE A 20' EASEMENT IN FAVOR OF THE TOWN OF FARRAGUT AND ARE RESERVED FOR PUBLIC USE. TOWN OF FARRAGUT SHALL ACCEPT MAINTENANCE AND LIABILITY OF TRAILS AND EASEMENTS UPON THE RELEASE OF THE 2-YEAR MAINTENANCE LETTER OF CREDIT RELATED TO THE WALKING TRAILS.
 - A 15' UTILITY EASEMENT EXISTS, 7.5 EITHER SIDE OF WATER AND SEWER LINES AS INSTALLED.
 - THIS NOTE IS INTENTIONALLY OMITTED.
 - BUILDING SETBACKS FOR (R1, OSR) ZONING ARE AS FOLLOWS:
FRONT YARD: 20 FEET
FRONT FACING GARAGE: 30 FEET
SIDE YARD: (MINIMUM OF 20 FEET BETWEEN BUILDINGS) 10 FEET UNLESS SHOWN OTHERWISE.
REAR: 25 FEET
PERIPHERY PROPERTY LINE: 50 FEET
 - GRID NORTH IS BASED ON BEARING OF SECTION 16 BETWEEN 100' CONTROL POINT NO. 022 AND 022R. (DISTANCES HAVE NOT BEEN REDUCED TO GRID).
 - REGARDING 50' SETBACK ON LOT 60 - LETTER HAS BEEN SUBMITTED TO ALLOW BUILDING WITHIN THE 50' BUFFER.
 - THE PURPOSE OF THIS PLAT IS TO RECORD UNIT III OF SHEFFIELD SUBDIVISION.
 - NO PART OF UNIT III LIES WITHIN THE BOUNDS OF THE 100 YEAR (100) FLOOD ZONE ACCORDING TO FIRM, COMMUNITY-PANEL #708303558F, EFFECTIVE DATE: MAY 2, 2007.

TOTAL COVERAGE / BUILDING AREA NOTE FROM SHEFFIELD PHASE I PLAT PERTAINING TO ENTIRE SUBDIVISION AND DEVELOPMENT:
TOTAL BUILDING AREA: 0.75 X 116,27 = 87,202.5 AC (3796540.9 SF)
87,202.5 AC X 0.25 = 21,800.6 AC (949634.136 SF)
21,800.6 AC / 193 = 0.1130 AC (4922.28 SF)
TOTAL LOT COVERAGE: 0.75 X 116,27 = 87,202.5 AC (3796540.9 SF)
87,202.5 AC X 0.35 = 30,520.9 AC (1329490.404 SF)
30,520.9 AC / 193 = 0.1581 AC (6886.836 SF)

DATE: _____ 20____
OWNER: _____

CERTIFICATION OF COMMON AREAS DEDICATION
As owner, in recording this plat I have designated certain areas of land shown hereon as common areas intended for use by the homeowners within SHEFFIELD UNIT III for recreation and related activities. The above described areas are not dedicated for use by the general public, but are dedicated to the common use of the homeowners within the named subdivision.
"Declaration of Covenants and Restrictions," applicable to the above named subdivision, is hereby incorporated and made a part of this plat.

LOCATION MAP NO SCALE

CERTIFICATE FOR STREET APPROVAL

I certify that streets, sidewalks, and other required improvements have been installed in an acceptable manner and according to Town specifications, or that a security bond in the amount of \$_____ has been posted with the Planning Commission to assure completion of all required improvements in case of default. Streets (are) public streets maintained at public expense.

DATE: _____ TOWN ENGINEER: _____
License No.: _____

CERTIFICATE OF APPROVAL OF WATER SYSTEM

I hereby certify that it has been certified to us that the water system(s) outlined or indicated on the final subdivision plat entitled _____

SHEFFIELD UNIT III - have been installed in accordance with current local and state government requirements.
Date Name, Title, and Agency of Authorized Approving Agent: _____

RELEASE OF EASEMENT(S) CERTIFICATION

Except as noted or shown on this plat, the following parties hereby consent to the release of all rights that may have accrued for their use and benefit (1) in the utility, drainage, and construction easements along the original lot lines or (2) in prior easements identified herein which are being eliminated by this plat, on the condition that new utility, drainage, and construction easements are provided along the new property lines or as facilities are otherwise installed or shown hereon. The above provisions notwithstanding prior easements or prior utility placements are not released unless their release is specifically noted hereon. Existing easements or placements shown hereon will not be adversely affected by the development as herein proposed.

Signature (sewer) Date: _____
Signature (water) Date: _____
Signature (electricity) Date: _____
Signature (gas) Date: _____
Signature (telephone) Date: _____
Signature (cable) Date: _____
Signature (Town of Farragut) Date: _____

CERTIFICATE OF APPROVAL FOR RECORDING

I hereby certify that the subdivision shown hereon has been found to comply with the Subdivision Regulations for Farragut, Tennessee, with the exception of such variances, if any, as are noted in the minutes of the Planning Commission and that it has been approved for recording in the Office of the County Register of Deeds.

Date / Secretary, Planning Commission: _____

CERTIFICATE OF APPROVAL OF STREET NAMES

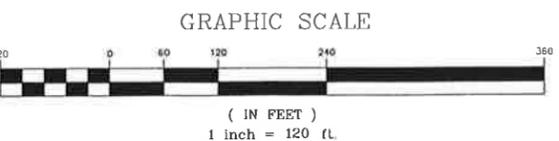
This is to certify that the subdivision shown hereon has been reviewed for compliance with the Knox County Uniform Street Naming & Addressing System Ordinance, and the road names are hereby approved for recording.
Knox County Addressing Division / Date: _____

CERTIFICATE OF APPROVAL OF SEWER SYSTEM

I hereby certify that it has been certified to us that the sewer systems outlined or indicated on the final subdivision plat entitled _____

have been installed in accordance with current local and state government requirements.
Date Name, Title, and Agency of Authorized Approving Agent: _____

The First Utility District Easement shown on and dedicated by this map is subject to the Restrictions and Conditions of record as instrument #200908100011396 in the Office of the Register for Knox County



OWNER:
DAVID B. FISER
132 SHERLAKE DR
KNOXVILLE, TN 37922
PHONE: (865) 693-0711
dfiser@fiserinc.com

CERTIFICATE OF SURVEY ACCURACY
I hereby certify that the plan shown and described hereon is a true and correct survey to the accuracy required by the Farragut Municipal Planning Commission and that the monuments have been placed as shown hereon, to the specifications of the Subdivision Regulations. This is a Category I Land Survey with a precision of precision of the undisturbed survey is equal to or greater than 1:10,000.
07/11/2016 Date: _____
Registered Surveyor No. 2447



LYNCH SURVEYS LLC
SUBDIVISIONS | AS-BUILTS | SITE DESIGN
4405 COBTER RD. KNOXVILLE, TENN. 37912
865-584-2630 FAX: 865-584-2801 WWW.LYNCHSURVEY.COM

REVISIONS	
1	FINAL 06/16/2016
2	TOP Comments 07/11/2016
3	
4	
5	
6	

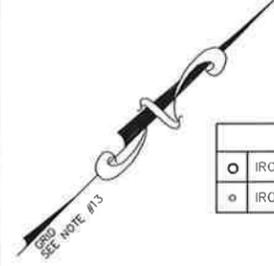
DRAWN BY: R. LYNCH
CHECKED BY: R. LYNCH
APPROVED BY: R.S.L.
SCALE: 1" = 120'
DATE: 03/17/2014

FOR: Saddlebrook Properties LLC
122 Perimeter Park Road
Knoxville, Tennessee 37922
Phone: (865) 690-3200

FINAL PLAT OF Sheffield Subdivision - Unit 3
Turkey Creek Road
Town of Farragut, Tennessee
District 6, Knox County, Tennessee

Sheet 1 of 6
PROJECT NO. 3622-3

TOTAL AREA = 27.363 AC
1,191,951.74 SQ.FT.
TOTAL LOTS = 50



SYMBOL LEGEND	
○	IRON PIN (SIZE&TYPE)
⊙	IRON PIN SET
⊖	CATCH BASIN
⊕	SANITARY MANHOLE

CERTIFICATE FOR STREET APPROVAL

I certify that streets, sidewalks, and other required improvements have been installed in an acceptable manner and according to Town specifications, or that a security bond in the amount of \$ has been posted with the Planning Commission to assure completion of all required improvements in case of default. Streets (are) public streets maintained at public expense.

DATE _____ TOWN ENGINEER _____
License No. _____

CERTIFICATE OF APPROVAL OF WATER SYSTEM

I hereby certify that it has been certified to us that the water system(s) outlined or indicated on the final subdivision plat entitled SHEFFIELD UNIT III - have been installed in accordance with current local and state government requirements.

Date Name, Title, and Agency of Authorized Approving Agent _____

CERTIFICATE OF APPROVAL FOR RECORDING

I hereby certify that the subdivision plat shown here has been found to comply with the Subdivision Regulations for Farragut, Tennessee, with the exception of such variances, if any, as are noted in the minutes of the Planning Commission, and that it has been approved for recording in the Office of the County Register of Deeds.

Date / Secretary, Planning Commission _____

CERTIFICATE OF APPROVAL OF STREET NAMES

This is to certify that the subdivision shown hereon has been reviewed for compliance with the Knox County Uniform Street Naming & Addressing System Ordinance, and the road names are hereby approved for recording.

Knox County Addressing Division / Date _____

Certificate of Electric, Gas and Telephone Availability

This is to certify that every lot within this subdivision has available to it a source for the service identified by signature(s) below which service source is adequate to accommodate the reasonable needs of such lot as to such service with such subdivision.

Date _____ GAS Name, Title & Agency of Authorized Approving Agent _____
Date _____ ELECTRIC Name, Title & Agency of Authorized Approving Agent _____
Date _____ TELEPHONE Name, Title & Agency of Authorized Approving Agent _____

RELEASE OF EASEMENT(S) CERTIFICATION

Except as noted or shown on this plat, the following parties hereby consent to the release of all rights that may have accrued for their use and benefit (1) in the utility, drainage, and construction easements along the original lot lines or (2) in prior easements identified hereon which are being eliminated by this plat, on the condition that new utility, drainage, and construction easements are provided along the new property lines or as facilities are otherwise installed or shown hereon. The above provisions notwithstanding prior easements or prior utility placements are not released unless their release is specifically noted hereon. Existing easements or placements shown hereon will not be adversely affected by the development as herein proposed.

Signature (sewer) Date _____
Signature (water) Date _____
Signature (electricity) Date _____
Signature (gas) Date _____
Signature (telephone) Date _____
Signature (cable) Date _____
Signature (Town of Farragut) Date _____

CERTIFICATE OF APPROVAL OF SEWER SYSTEM

I hereby certify that it has been certified to us that the sewer systems outlined or indicated on the final subdivision plat entitled SHEFFIELD UNIT III - have been installed in accordance with current local and state government requirements.

Date Name, Title, and Agency of Authorized Approving Agent _____

The First Utility District Easement shown on and dedicated by this map is subject to the Restrictions and Conditions of record as Instrument #200008100011596 in the Office of the Register for Knox County.

AREA CALCULATIONS

TOTAL AREA	UNIT 1	UNIT 2	UNIT 3	TOTAL DEVELOPMENT	TOTAL DEV
27.363 AC	8.877 AC	7.400 AC	11.086 AC	17.363 AC	11.93
OS Bldg. Ag.	31,511.57	0	0	31,511.57	1.30
OS Private Ag.	88,735.38	0	0	88,735.38	3.53
Total Area OS	120,246.95	0	0	120,246.95	4.83
OS Res.	84,834.38	410,818.18	417,552.18	1,713,204.74	69.72
OS Private	1,314,542.88	298,800.00	371,274.00	1,984,616.88	79.68
OS Park - Res.	305,884.71	113,498.11	44,895.25	464,278.07	18.68

UNIT 1	Area (SF)	Area (AC)	UNIT 2	Area (SF)	Area (AC)
Total Area	3,123,223.71	74.00	Total Area	1,373,988.03	31.83
Open Space	308,397.38	7.08	Open Space	17,371.00	0.42
Lot 125	4,197.87	0.10	Lot 24	274,483.00	6.42
Lot 119	111,435.90	2.56	Total Unit 2	298,800.00	6.81
Lot 106	854,598.34	19.00	50 Lots + 2 Open Space Lots		
Lot 108	47,817.18	1.10	UNIT 3 <td>Area (SF) <td>Area (AC) </td></td>	Area (SF) <td>Area (AC) </td>	Area (AC)
Lot 100	33,522.82	0.77	Total Area	1,192,455.00	27.38
Lot 102	14,902.72	0.34	Lot 28	336,225.00	7.69
Lot 204 (A)	88,735.38	2.03	Lot 29	371,274.00	8.52
Total Unit 1 (OS)	1,234,542.81	28.24	Total Unit 3	271,274.00	6.32
51 Lots + 8 Open Space Lots			49 Lots + 2 Open Space Lots		

GENERAL NOTES

- IRON PINS SET AT ALL CORNERS, BY THIS SURVEY, UNLESS OTHERWISE NOTED. (FINAL PLAT)
- A FIVE (5') FOOT UTILITY, DRAINAGE AND CONSTRUCTION EASEMENT ON EACH SIDE OF INTERIOR LOT LINES, A TEN (10') FOOT UTILITY, DRAINAGE AND CONSTRUCTION EASEMENT ON INSIDE OF ROAD RIGHTS-OF-WAY AND EXTERIOR LOT LINES.
- THIS PLAT REFLECTS A PORTION OF THE LAND INCLUDED IN THE PRELIMINARY PLAT FOR PHASE III SHEFFIELD AND ESTABLISHES 48 LOTS AND 2 OPEN SPACE LOTS.
- DEED REFERENCE: INSTRUMENT NO. 20070208061440
- PROPERTY SHOWN ON CLT 152 PARCEL 52.03
- PROPERTY ZONE: R1, OSR
- TOTAL AREA UNIT III: 27.363 ACRES- 1,191,951.74 SF
- LOTS 59 AND 78 ARE PERMANENT OPEN SPACE AND ARE TO BE MAINTAINED BY THE HOMEOWNER'S ASSOCIATION.
- ALL WALKING TRAILS SHALL HAVE A 20' EASEMENT IN FAVOR OF FARRAGUT AND ARE RESERVED FOR PUBLIC USE. TOWN OF FARRAGUT SHALL ACCEPT MAINTENANCE AND LIABILITY OF TRAILS AND EASEMENTS UPON THE RELEASE OF THE 2-YEAR MAINTENANCE LETTER OF CREDIT RELATED TO THE WALKING TRAILS.
- A 15' UTILITY EASEMENT EXISTS, 7.5 EITHER SIDE OF WATER AND SEWER LINES AS INSTALLED.
- THIS NOTE IS INTENTIONALLY OMITTED.
- BUILDING SETBACKS FOR (R1, OSR) ZONING ARE AS FOLLOWS:
FRONT YARD: 20 FEET
FRONT FACING GARAGE: 30 FEET
SIDE YARD: (MINIMUM OF 20 FEET BETWEEN BUILDINGS) 10 FEET UNLESS SHOWN OTHERWISE.
REAR: 25 FEET
PERIPHERY PROPERTY LINE: 50 FEET
- GRID NORTH IS BASED ON BEARING OF S82°09'10"E BETWEEN TWP CONTROL POINT No. 022 AND 023R. (DISTANCES HAVE NOT BEEN REDUCED TO GRID).
- REGARDING 50' SETBACK ON LOT 60 - LETTER HAS BEEN SUBMITTED TO ALLOW BUILDING WITHIN THE 50' BUFFER.
- THE PURPOSE OF THIS PLAT IS TO RECORD UNIT III OF SHEFFIELD SUBDIVISION.
- NO PART OF UNIT III LIES WITHIN THE BOUNDRIES OF THE 100 YEAR (1%) FLOOD ZONE ACCORDING

Certificate of Ownership and Dedication

I, (We) hereby certify that I am (we are) the owner(s) of the property shown and described hereon and that I (we) hereby adopt this plan of subdivision with my (our) free consent, establish the minimum building restriction lines, and dedicate all streets, alleys, walks, parks, and other open space to public or private use as noted.

DATE: _____ 20____
OWNER _____

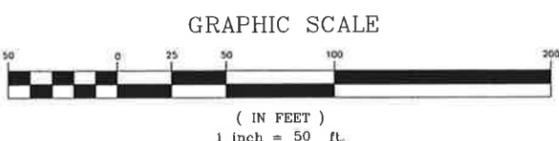
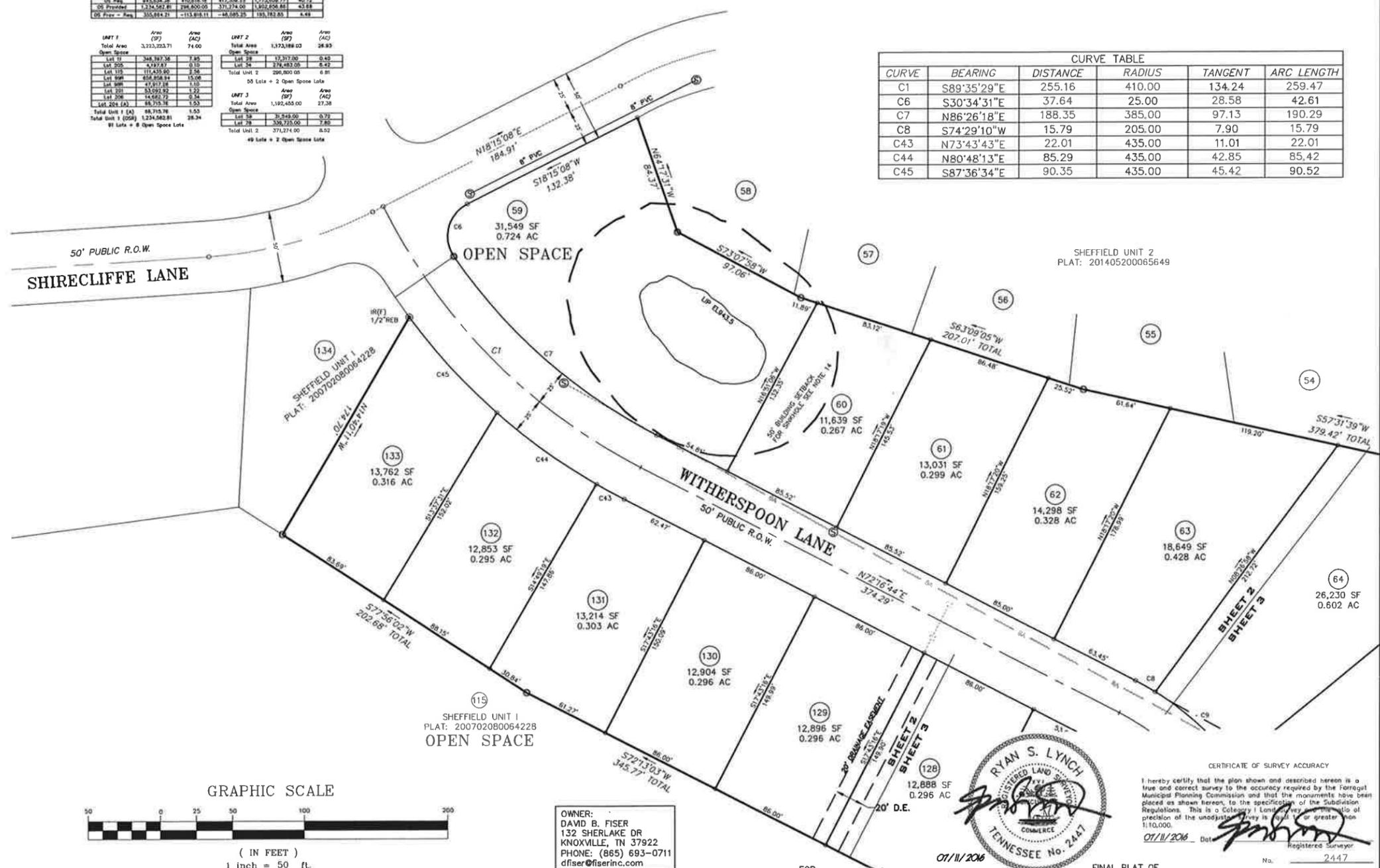
CERTIFICATE OF COMMON AREAS DEDICATION
As owner, in recording this plat I have designated certain areas of land shown hereon as common areas intended for use by the homeowners within SHEFFIELD UNIT III for recreation and related activities. The above described areas are not dedicated for use by the general public, but are dedicated to the common use of the homeowners within the named subdivision.

"Declaration of Covenants and Restrictions" applicable to the above named subdivision, is hereby incorporated and made a part of this plat.

Date / Owner _____



CURVE	BEARING	DISTANCE	RADIUS	TANGENT	ARC LENGTH
C1	S89°35'29"E	255.16	410.00	134.24	259.47
C6	S30°34'31"E	37.64	25.00	28.58	42.61
C7	N86°26'18"E	188.35	385.00	97.13	190.29
C8	S74°29'10"W	15.79	205.00	7.90	15.79
C43	N73°43'43"E	22.01	435.00	11.01	22.01
C44	N80°48'13"E	85.29	435.00	42.85	85.42
C45	S87°36'34"E	90.35	435.00	45.42	90.52



OWNER:
DAVID B. FISER
132 SHERLAKE DR
KNOXVILLE, TN 37922
PHONE: (865) 693-0711
dfiser@fiserinc.com



CERTIFICATE OF SURVEY ACCURACY
I hereby certify that the plan shown and described hereon is a true and correct survey to the accuracy required by the Farragut Municipal Planning Commission and that the monuments have been placed as shown hereon, to the specifications of the Subdivision Regulations. This is a Geodetic Land Survey with a precision of precision of the unadjusted survey is 1 in 10,000 or greater than 1:10,000.
07/11/2016 Date
Registered Surveyor
No. 2447

LYNCH SURVEYS LLC
SUBDIVISIONS | AS-BUILTS | SITE DESIGN
4405 COSTER RD. KNOXVILLE, TENN. 37912
865-584-2630 FAX: 865-584-2601 WWW.LYNCHSURVEY.COM



REVISIONS	
1	FINAL 06/16/2016
2	TOF Comments 07/11/2016
3	
4	
5	
6	

Saddlebrook Properties LLC
122 Perimeter Park Road
Knoxville, Tennessee 37922
Phone: (865) 690-3200

Sheffield Subdivision - Unit 3
Turkey Creek Road
Town of Farragut, Tennessee
District 6, Knox County, Tennessee

Sheet 2 of 6
PROJECT NO. 3622-3

TOTAL AREA = 27.363 AC
1,191,951.74 SQ.FT.
TOTAL LOTS = 50



CERTIFICATE FOR STREET APPROVAL

I certify that streets, sidewalks, and other required improvements have been installed in an acceptable manner and according to Town specifications, or that a security bond in the amount of \$ has been posted with the Planning Commission to assure completion of all required improvements in case of default. Streets (are) public streets maintained at public expense.

DATE: 07/11/2016
TOWN ENGINEER: [Signature]

CERTIFICATE OF APPROVAL OF WATER SYSTEM

I hereby certify that it has been certified to us that the water system(s) outlined or indicated on the final subdivision plat entitled SHEFFIELD UNIT III - have been installed in accordance with current local and state government requirements.

Date Name, Title, and Agency of Authorized Approving Agent

CERTIFICATE OF APPROVAL FOR RECORDING

I hereby certify that the subdivision plat shown here has been found to comply with the Subdivision Regulations for Farragut, Tennessee, with the exception of such variances, if any, as are noted in the minutes of the Planning Commission and that it has been approved for recording in the Office of the County Register of Deeds.

Date / Secretary, Planning Commission

CERTIFICATE OF APPROVAL OF STREET NAMES

This is to certify that the subdivision shown hereon has been reviewed for compliance with the Knox County Uniform Street Naming & Addressing System Ordinance, and the road names are hereby approved for recording.

Knox County Addressing Division / Date

Certificate of Electric, Gas and Telephone Availability

This is to certify that every lot within this subdivision has available to it a source for the service identified by signature(s) below which service source is adequate to accommodate the reasonable needs of such lot as to such service with such subdivision.

Date: GAS Name, Title & Agency of Authorized Approving Agent

Date: ELECTRIC Name, Title & Agency of Authorized Approving Agent

Date: TELEPHONE Name, Title & Agency of Authorized Approving Agent

RELEASE OF EASEMENT(S) CERTIFICATION

Except as noted or shown on this plat, the following parties hereby consent to the release of all rights that may have accrued for their use and benefit (1) in the utility, drainage, and construction easements along the original lot lines or (2) in prior easements identified hereon which are being eliminated by this plat, on the condition that new utility, drainage, and construction easements are provided along the new property lines or as facilities are otherwise installed or shown hereon. The above provisions notwithstanding prior easements or prior utility placements are not released unless their release is specifically noted hereon. Existing easements or placements shown hereon will not be adversely affected by the development as herein proposed.

Signature (sewer) Date
Signature (water) Date
Signature (electricity) Date
Signature (gas) Date
Signature (telephone) Date
Signature (cable) Date
Signature (Town of Farragut) Date

CERTIFICATE OF APPROVAL OF SEWER SYSTEM

I hereby certify that it has been certified to us that the sewer systems outlined or indicated on the final subdivision plat entitled SHEFFIELD UNIT III - have been installed in accordance with current local and state government requirements.

Date Name, Title, and Agency of Authorized Approving Agent

The First Utility District Easement shown and dedicated by this map is subject to the Restrictions and Conditions of record as Instrument #200908100011336 in the Office of the Register for Knox County

SYMBOL LEGEND	
○ (with center dot)	IRON PIN (SIZE&TYPE)
○ (with cross)	CATCH BASIN
○ (with circle)	IRON PIN SET
○ (with square)	SANITARY MANHOLE

GENERAL NOTES

- IRON PINS SET AT ALL CORNERS, BY THIS SURVEY, UNLESS OTHERWISE NOTED. (FINAL PLAT)
- A FIVE (5) FOOT UTILITY, DRAINAGE AND CONSTRUCTION EASEMENT ON EACH SIDE OF INTERIOR LOT LINES, A TEN (10) FOOT UTILITY, DRAINAGE AND CONSTRUCTION EASEMENT ON INSIDE OF ROAD RIGHTS-OF-WAY AND EXTERIOR LOT LINES.
- THIS PLAT REFLECTS A PORTION OF THE LAND INCLUDED IN THE PRELIMINARY PLAT FOR PHASE III SHEFFIELD AND ESTABLISHES 48 LOTS AND 2 OPEN SPACE LOTS.
- DEED REFERENCE: INSTRUMENT NO. 200701290061440
- PROPERTY SHOWN ON CLT 152 PARCEL 52.03
- PROPERTY ZONE RT, OSR
- TOTAL AREA UNIT III: 27.363 ACRES - 1,191,951.74 SF
- LOTS 53 AND 78 ARE PERMANENT OPEN SPACE AND ARE TO BE MAINTAINED BY THE HOMEOWNER'S ASSOCIATION.
- ALL WALKING TRAILS SHALL HAVE A 20' EASEMENT IN FAVOR OF THE TOWN OF FARRAGUT AND ARE RESERVED FOR PUBLIC USE. TOWN OF FARRAGUT SHALL ACCEPT MAINTENANCE AND LIABILITY OF TRAILS AND EASEMENTS UPON THE RELEASE OF THE 2-YEAR MAINTENANCE LETTER OF CREDIT RELATED TO THE WALKING TRAILS.
- A 15' UTILITY EASEMENT EXISTS, 7.5 EITHER SIDE OF WATER AND SEWER LINES AS INSTALLED.
- THIS NOTE IS INTENTIONALLY OMITTED.
- BUILDING SETBACKS FOR (RH, OSR) ZONING ARE AS FOLLOWS:
FRONT YARD: 20 FEET
FRONT FACING GARAGE: 30 FEET
SIDE YARD: (MINIMUM OF 20 FEET BETWEEN BUILDINGS) 10 FEET UNLESS SHOWN OTHERWISE.
REAR: 25 FEET
- PERIPHERY PROPERTY LINE: 50 FEET
GRID NORTH IS BASED ON BEARING OF S82°09'10"E BETWEEN TOP CONTROL POINT No. 022 AND 023R. (DISTANCES HAVE NOT BEEN REDUCED TO GRID).
- REGARDING 50' SETBACK ON LOT 60 - LETTER HAS BEEN SUBMITTED TO ALLOW BUILDING WITHIN THE 50' BUFFER.

Certificate of Ownership and Dedication

I, (We) hereby certify that I am (we are) the owner(s) of the property shown and described hereon and that I (we) hereby adopt this plan of subdivision with my (our) free consent, establish the minimum building restriction lines, and dedicate all streets, alleys, walks, parks, and other open space to public or private use as noted.

DATE: 07/11/2016 OWNER: [Signature]

CERTIFICATION OF COMMON AREAS DEDICATION

As owner, in recording this plat I have designated certain areas of land shown hereon as common areas intended for use by the homeowners within SHEFFIELD UNIT III for recreation and related activities. The above described areas are not dedicated for use by the general public, but are dedicated to the common use of the homeowners within the named subdivision.

"Declaration of Covenants and Restrictions," applicable to the above named subdivision, is hereby incorporated and made a part of this plat.

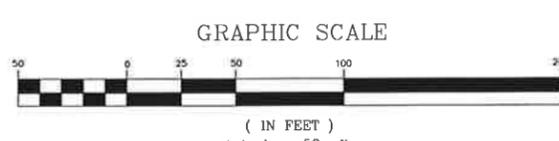
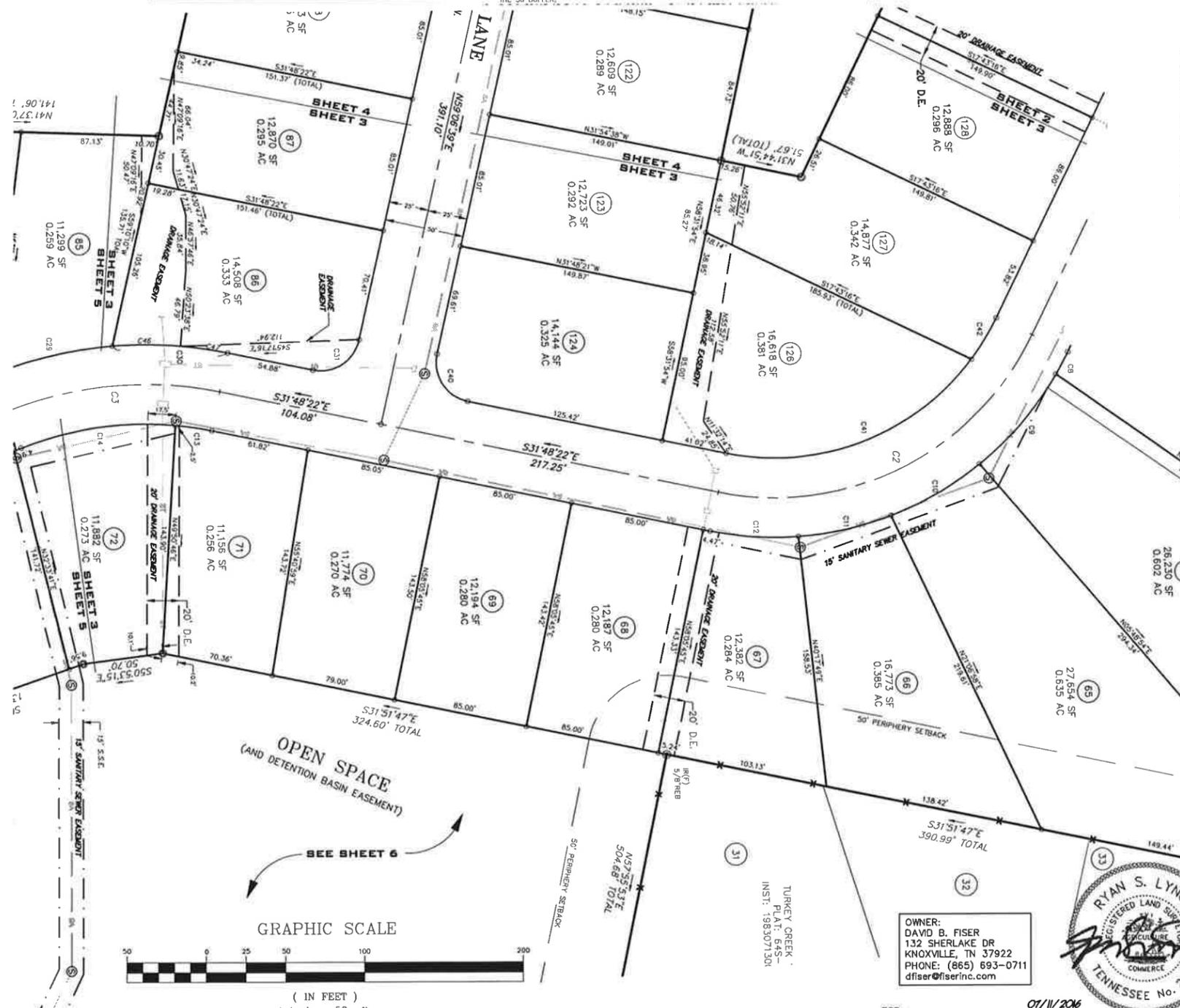
Date / Owner



LOCATION MAP NO SCALE

CURVE TABLE					
CURVE	BEARING	DISTANCE	RADIUS	TANGENT	ARC LENGTH
C2	N69°45'49"W	221.43	180.00	148.42	238.49
C3	S48°10'02"E	135.07	235.00	70.48	136.95
C9	S87°08'23"W	74.34	205.00	37.80	74.75
C10	N23°21'50"W	64.49	205.00	32.65	64.76
C11	N55°41'13"W	59.97	205.00	30.31	60.18
C12	N39°38'59"W	55.95	205.00	28.24	56.13
C13	S34°58'06"E	23.17	210.00	11.60	23.18
C14	S61°02'46"E	98.28	210.00	50.54	98.20
C30	S39°52'22"E	72.97	260.00	36.85	73.21
C31	N75°03'11"W	35.07	25.00	24.60	38.87
C40	N13°39'09"E	35.64	25.00	25.40	39.67
C41	N64°06'42"W	165.83	155.00	98.13	174.97
C42	S77°53'51"W	30.35	155.00	15.25	30.40
C46	S43°10'52"E	43.14	260.00	21.64	43.19
C47	S35°06'31"E	30.01	260.00	15.03	30.07

AREA CALCULATIONS				
	UNIT 1	UNIT 2	UNIT 3	TOTAL DEV
TOTAL AREA (AC)	10.0000	10.0000	10.0000	30.0000
25' Setback	0.0000	0.0000	0.0000	0.0000
50' Setback	0.0000	0.0000	0.0000	0.0000
50' Periphery	0.0000	0.0000	0.0000	0.0000
50' Utility	0.0000	0.0000	0.0000	0.0000
50' Sewer	0.0000	0.0000	0.0000	0.0000
50' Water	0.0000	0.0000	0.0000	0.0000
50' Electric	0.0000	0.0000	0.0000	0.0000
50' Gas	0.0000	0.0000	0.0000	0.0000
50' Telephone	0.0000	0.0000	0.0000	0.0000
50' Cable	0.0000	0.0000	0.0000	0.0000
50' Other	0.0000	0.0000	0.0000	0.0000
50' Total	0.0000	0.0000	0.0000	0.0000
50' Net	10.0000	10.0000	10.0000	30.0000
50' Gross	10.0000	10.0000	10.0000	30.0000
50' Total	10.0000	10.0000	10.0000	30.0000



CERTIFICATE OF SURVEY ACCURACY
I hereby certify that the plan shown and described hereon is a true and correct survey to the accuracy required by the Farragut Municipal Planning Commission and that the monuments have been placed as shown hereon, to the specification of the Subdivision Regulations. This is a Category I Land Survey with a ratio of precision of the measurements of 1:10,000 or greater than 1:10,000.
07/11/2016 [Signature]
Registered Surveyor No. 2447

OWNER:
DAVID B. FISER
132 SHERLAKE DR
KNOXVILLE, TN 37922
PHONE: (865) 693-0711
dfiser@fiserinc.com

LYNCH SURVEYS LLC
SUBDIVISIONS | AS-BUILTS | SITE DESIGN
4405 COSTER RD. KNOXVILLE, TENN. 37912
865-584-2630 FAX: 865-584-2801 WWW.LYNCHSURVEY.COM

REVISIONS	
1	FINAL 06/16/2016
2	TOP Comments 07/11/2016
3	
4	
5	
6	

DRAWN BY: R. LYNCH
CHECKED BY: R. LYNCH
APPROVED BY: R.S.L.
SCALE: 1" = 50'
DATE: 03/17/2014

Saddlebrook Properties LLC
122 Perimeter Park Road
Knoxville, Tennessee 37922
Phone: (865) 690-3200

Sheffield Subdivision - Unit 3
Turkey Creek Road
Town of Farragut, Tennessee
District 6, Knox County, Tennessee

Sheet 3 of 8
PROJECT NO. 3622-3

TOTAL AREA = 27.363 AC
1,191,951.74 SQ.FT.
TOTAL LOTS = 50



AREA CALCULATIONS

UNIT #	AREA (SQ. FT.)	AREA (AC)
UNIT 1	3,223,223.71	74.00
UNIT 2	1,173,189.03	26.93
UNIT 3	1,191,951.74	27.36
TOTAL	5,588,394.48	128.29

LOT #	AREA (SQ. FT.)	AREA (AC)
Lot 11	346,307.38	7.93
Lot 12	4,197.67	0.10
Lot 13	114,335.90	2.64
Lot 14	225,483.05	5.14
Lot 15	296,800.05	6.81
Lot 16	558,858.94	12.80
Lot 17	47,917.28	1.10
Lot 18	13,092.92	0.30
Lot 19	14,882.72	0.34
Lot 20	58,715.78	1.35
Lot 21	88,715.78	2.03
Lot 22	1,234,582.81	28.34
Lot 23	88,715.78	2.03
Lot 24	1,234,582.81	28.34
Lot 25	88,715.78	2.03
Lot 26	1,234,582.81	28.34
Lot 27	88,715.78	2.03
Lot 28	1,234,582.81	28.34
Lot 29	88,715.78	2.03
Lot 30	1,234,582.81	28.34
Lot 31	88,715.78	2.03
Lot 32	1,234,582.81	28.34
Lot 33	88,715.78	2.03
Lot 34	1,234,582.81	28.34
Lot 35	88,715.78	2.03
Lot 36	1,234,582.81	28.34
Lot 37	88,715.78	2.03
Lot 38	1,234,582.81	28.34
Lot 39	88,715.78	2.03
Lot 40	1,234,582.81	28.34
Lot 41	88,715.78	2.03
Lot 42	1,234,582.81	28.34
Lot 43	88,715.78	2.03
Lot 44	1,234,582.81	28.34
Lot 45	88,715.78	2.03
Lot 46	1,234,582.81	28.34
Lot 47	88,715.78	2.03
Lot 48	1,234,582.81	28.34
Lot 49	88,715.78	2.03
Lot 50	1,234,582.81	28.34

- GENERAL NOTES**
- IRON PINS SET AT ALL CORNERS, BY THIS SURVEY, UNLESS OTHERWISE NOTED, (FINAL PLAT)
 - A FIVE (5') FOOT UTILITY, DRAINAGE AND CONSTRUCTION EASEMENT ON EACH SIDE OF INTERIOR LOT LINES, A TEN (10') FOOT UTILITY, DRAINAGE AND CONSTRUCTION EASEMENT ON INSIDE OF ROAD RIGHTS-OF-WAY AND EXTERIOR LOT LINES.
 - THIS PLAT REFLECTS A PORTION OF THE LAND INCLUDED IN THE PRELIMINARY PLAT FOR PHASE III SHEFFIELD AND ESTABLISHES 48 LOTS AND 2 OPEN SPACE LOTS.
 - DEED REFERENCE: INSTRUMENT NO. 200701290061440
 - PROPERTY ZONE: R1, OSR
 - TOTAL AREA UNIT III: 27.363 ACRES; 1,191,951.74 SF
 - LOTS 59 AND 78 ARE PERMANENT OPEN SPACE AND ARE TO BE MAINTAINED BY THE HOMEOWNER'S ASSOCIATION.
 - ALL WALKING TRAILS SHALL HAVE A 20' EASEMENT IN FAVOR OF THE TOWN OF FARRAGUT AND ARE RESERVED FOR PUBLIC USE. TOWN OF FARRAGUT SHALL ACCEPT MAINTENANCE AND LIABILITY OF TRAILS AND EASEMENTS UPON THE RELEASE OF THE 2-YEAR MAINTENANCE LETTER OF CREDIT RELATED TO THE WALKING TRAILS.
 - A 15' UTILITY EASEMENT EXISTS, 7.5 EITHER SIDE OF WATER AND SEWER LINES AS INSTALLED.
 - THIS NOTE IS INTENTIONALLY OMITTED.
 - BUILDING SETBACKS FOR (R1, OSR) ZONING ARE AS FOLLOWS:
FRONT YARD: 20 FEET
SIDE YARD: (MINIMUM OF 20 FEET BETWEEN BUILDINGS) 10 FEET UNLESS SHOWN OTHERWISE.
REAR: 25 FEET
PERIPHERY PROPERTY LINE: 50 FEET
 - GRID NORTH IS BASED ON BEARING OF S82°09'10"E BETWEEN TOP CONTROL POINT NO. 022 AND 023H. (DISTANCES HAVE NOT BEEN REDUCED TO GRID).
 - REGARDING 50' SETBACK ON LOT 60 - LETTER HAS BEEN SUBMITTED TO ALLOW BUILDING WITHIN THE 50' BUFFER.
 - THE PURPOSE OF THIS PLAT IS TO RECORD UNIT III OF SHEFFIELD SUBDIVISION.
 - NO PART OF UNIT III LIES WITHIN THE BOUNDS OF THE 100 YEAR (1%) FLOOD ZONE ACCORDING TO F.I.R.M. COMMUNITY-PANEL 47093C0356F, EFFECTIVE DATE: MAY 2, 2007.

Certificate of Ownership and Dedication

I, (We) hereby certify that I am (we are) the owner(s) of the property shown and described hereon and that I (we) hereby adopt this plan of subdivision with my (our) free consent, establish the minimum building restriction lines, and dedicate all streets, alleys, walks, parks, and other open space to public or private use as noted.

DATE: _____ 20____

OWNER: _____

CERTIFICATION OF COMMON AREAS DEDICATION
As owner, in recording this plat I have designated certain areas of land shown hereon as common areas intended for use by the homeowners within SHEFFIELD UNIT III for recreation and related activities. The above described areas are not dedicated for use by the general public, but are dedicated to the common use of the homeowners within the named subdivision.

"Declaration of Covenants and Restrictions," applicable to the above named subdivision, is hereby incorporated and made a part of this plat.

Date / Owner: _____



CERTIFICATE FOR STREET APPROVAL

I certify that streets, sidewalks, and other required improvements have been installed in an acceptable manner and according to Town specifications, or that a security bond in the amount of \$ _____ has been posted with the Planning Commission to assure completion of all required improvements in case of default. Streets (are) public streets maintained at public expense.

DATE: _____ TOWN ENGINEER: _____
License No.: _____

CERTIFICATE OF APPROVAL OF WATER SYSTEM

I hereby certify that it has been certified to us that the water system(s) outlined or indicated on the final subdivision plat entitled SHEFFIELD UNIT III - have been installed in accordance with current local and state government requirements.

Date Name, Title, and Agency of Authorized Approving Agent: _____

CERTIFICATE OF APPROVAL FOR RECORDING

I hereby certify that the subdivision plat shown here has been found to comply with the Subdivision Regulations for Farragut, Tennessee, with the exception of such variances, if any, as are noted in the minutes of the Planning Commission and that it has been approved for recording in the Office of the County Register of Deeds.

Date / Secretary, Planning Commission: _____

CERTIFICATE OF APPROVAL OF STREET NAMES

This is to certify that the subdivision shown hereon has been reviewed for compliance with the Knox County Uniform Street Naming & Addressing System Ordinance, and the road names are hereby approved for recording.

Knox County Addressing Division / Date: _____

Certificate of Electric Gas and Telephone Availability

This is to certify that every lot within this subdivision has available to it a source for the service identified by signature(s) below which service source is adequate to accommodate the reasonable needs of such lot as to such service with such subdivision.

Date: _____ GAS: Name, Title & Agency of Authorized Approving Agent: _____
Date: _____ ELECTRIC: Name, Title & Agency of Authorized Approving Agent: _____
Date: _____ TELEPHONE: Name, Title & Agency of Authorized Approving Agent: _____

RELEASE OF EASEMENT(S) CERTIFICATION

Except as noted or shown on this plat, the following parties hereby consent to the release of all rights that may have accrued for their use and benefit (1) in the utility, drainage, and construction easements along the original lot lines or (2) in prior easements identified herein which are being eliminated by this plat, on the condition that new utility, drainage, and construction easements are provided along the new property lines or as facilities are otherwise installed or shown hereon. The above provisions notwithstanding prior easements or prior utility placements are not released unless their release is specifically noted hereon. Existing easements or placements shown hereon will not be adversely affected by the development as herein proposed.

Signature (sewer) Date: _____
Signature (water) Date: _____
Signature (electricity) Date: _____
Signature (gas) Date: _____
Signature (telephone) Date: _____
Signature (cable) Date: _____
Signature (Town of Farragut) Date: _____

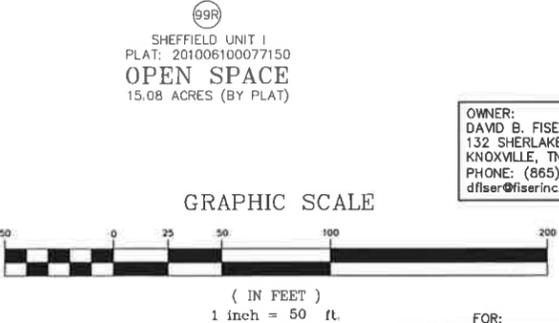


SYMBOL LEGEND

○	IRON PIN (SIZE&TYPE)	□	CATCH BASIN
○	IRON PIN SET	⊙	SANITARY MANHOLE

CURVE TABLE

CURVE	BEARING	DISTANCE	RADIUS	TANGENT	ARC LENGTH
C5	S54°17'03"W	349.21	2075.00	175.22	349.62
C30	S39°52'22"E	72.97	260.00	36.85	73.21
C31	N76°20'51"W	35.07	25.00	24.60	38.87
C32	S58°09'11"W	68.55	2050.00	34.28	68.55
C33	S55°56'19"W	89.91	2050.00	44.97	89.92
C34	S53°29'38"W	85.02	2050.00	42.52	85.02
C35	S50°37'41"W	120.02	2050.00	60.03	120.03
C36	S51°15'41"W	96.28	2100.00	48.15	96.29
C37	S53°44'11"W	85.13	2100.00	42.58	85.14
C38	S56°03'30"W	85.06	2100.00	42.54	85.06
C39	S58°09'54"W	69.35	2100.00	34.68	69.35
C40	N13°39'09"E	35.64	25.00	25.40	39.67
C46	S43°10'52"E	43.14	260.00	21.64	43.19
C47	S35°06'51"E	30.01	260.00	15.03	30.07

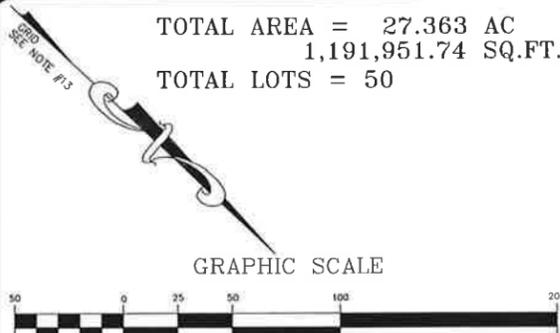


CERTIFICATE OF SURVEY ACCURACY

I hereby certify that the plan shown and described hereon is a true and correct survey to the accuracy required by the Farragut Municipal Planning Commission and that the monuments have been placed as shown hereon, to the specification of the Subdivision Regulations. This is a Category I Land Survey with a ratio of precision of the unadjusted survey of not less than 1:10,000.

01/11/2016 Date: _____ Registered Surveyor: _____
No. 2447

TOTAL AREA = 27.363 AC
1,191,951.74 SQ.FT.
TOTAL LOTS = 50



CERTIFICATE OF APPROVAL OF SEWER SYSTEM

I hereby certify that it has been certified to us that the sewer systems outlined or indicated on the final subdivision plot entitled SHEFFIELD UNIT III - have been installed in accordance with current local and state government requirements.

Date, Name, Title, and Agency of Authorized Approving Agent

The First Utility District Easement shown on and dedicated by this map is subject to the Restrictions and Conditions of record as Instrument #20080300011356 in the Office of the Register for Knox County

SYMBOL LEGEND

○	IRON PIN (SIZE&TYPE)	□	CATCH BASIN
○	IRON PIN SET	⊙	SANITARY MANHOLE

CURVE TABLE

CURVE	BEARING	DISTANCE	RADIUS	TANGENT	ARC LENGTH
C3	S48°30'02"E	135.02	235.00	70.48	136.95
C4	N53°36'56"W	150.55	375.00	76.84	151.57
C13	S34°58'06"E	23.17	210.00	11.60	23.18
C14	S51°39'46"E	98.28	210.00	50.54	99.20
C15	N62°39'29"W	35.41	400.00	17.72	35.43
C16	N54°50'43"W	52.56	400.00	26.34	52.60
C17	N44°50'40"E	7.35	75.00	3.68	7.35
C19	S63°18'46"E	40.41	75.00	20.98	40.91
C20	N56°10'19"W	38.65	50.00	20.95	39.68
C21	N15°54'04"W	30.13	50.00	15.80	30.61
C22	N28°01'13"E	44.44	50.00	24.80	46.05
C23	N85°12'06"E	51.20	50.00	29.80	53.75
C24	S34°35'03"E	49.12	50.00	28.19	51.34
C25	N23°36'04"W	47.43	75.00	25.00	48.26
C26	N43°33'49"W	18.66	350.00	9.33	18.66
C27	N52°27'46"W	89.81	350.00	45.28	90.06
C28	N62°50'52"W	32.74	350.00	16.39	32.75
C29	S56°34'03"E	78.01	260.00	39.45	78.30
C30	S39°52'22"E	72.97	260.00	36.85	73.21
C46	S43°10'52"E	43.14	260.00	21.84	43.19

AREA CALCULATIONS

UNIT #	Area (SQ)	Area (AC)
UNIT 1	331,123.31	74.00
UNIT 2	1,174,060.03	26.83
UNIT 3	736,768.40	16.81
UNIT 4	296,000.00	6.80
UNIT 5	1,195,450.00	27.36
UNIT 6	336,710.00	7.63
UNIT 7	326,710.00	7.42
UNIT 8	372,740.00	8.53
UNIT 9	1,195,450.00	27.36
UNIT 10	336,710.00	7.63
UNIT 11	326,710.00	7.42
UNIT 12	372,740.00	8.53
UNIT 13	1,195,450.00	27.36
UNIT 14	336,710.00	7.63
UNIT 15	326,710.00	7.42
UNIT 16	372,740.00	8.53
UNIT 17	1,195,450.00	27.36
UNIT 18	336,710.00	7.63
UNIT 19	326,710.00	7.42
UNIT 20	372,740.00	8.53
UNIT 21	1,195,450.00	27.36
UNIT 22	336,710.00	7.63
UNIT 23	326,710.00	7.42
UNIT 24	372,740.00	8.53
UNIT 25	1,195,450.00	27.36
UNIT 26	336,710.00	7.63
UNIT 27	326,710.00	7.42
UNIT 28	372,740.00	8.53
UNIT 29	1,195,450.00	27.36
UNIT 30	336,710.00	7.63
UNIT 31	326,710.00	7.42
UNIT 32	372,740.00	8.53
UNIT 33	1,195,450.00	27.36
UNIT 34	336,710.00	7.63
UNIT 35	326,710.00	7.42
UNIT 36	372,740.00	8.53
UNIT 37	1,195,450.00	27.36
UNIT 38	336,710.00	7.63
UNIT 39	326,710.00	7.42
UNIT 40	372,740.00	8.53
UNIT 41	1,195,450.00	27.36
UNIT 42	336,710.00	7.63
UNIT 43	326,710.00	7.42
UNIT 44	372,740.00	8.53
UNIT 45	1,195,450.00	27.36
UNIT 46	336,710.00	7.63
UNIT 47	326,710.00	7.42
UNIT 48	372,740.00	8.53
UNIT 49	1,195,450.00	27.36
UNIT 50	336,710.00	7.63

GENERAL NOTES

- IRON PINS SET AT ALL CORNERS, BY THIS SURVEY, UNLESS OTHERWISE NOTED. (FINAL PLAT)
- A FIVE (5') FOOT UTILITY, DRAINAGE AND CONSTRUCTION EASEMENT ON EACH SIDE OF INTERIOR LOT LINES, A TEN (10') FOOT UTILITY, DRAINAGE AND CONSTRUCTION EASEMENT ON INSIDE OF ROAD RIGHTS-OF-WAY AND EXTERIOR LOT LINES.
- THIS PLAT REFLECTS A PORTION OF THE LAND INCLUDED IN THE PRELIMINARY PLAT FOR PHASE III SHEFFIELD AND ESTABLISHES 46 LOTS AND 2 OPEN SPACE LOTS.
- DEED REFERENCE: INSTRUMENT NO. 200701290061440
- PROPERTY SHOWN ON CLT 152 PARCEL 52.03
- PROPERTY ZONE R1, OSR
- TOTAL AREA UNIT III: 27.363 ACRES - 1,191,951.74 SF
- LOTS 59 AND 78 ARE PERMANENT OPEN SPACE AND ARE TO BE MAINTAINED BY THE HOMEOWNER'S ASSOCIATION.
- ALL WALKING TRAILS SHALL HAVE A 20' EASEMENT IN FAVOR OF THE TOWN OF FARRAGUT AND ARE RESERVED FOR PUBLIC USE. TOWN OF FARRAGUT SHALL ACCEPT MAINTENANCE AND LIABILITY OF TRAILS AND EASEMENTS UPON THE RELEASE OF THE 2-YEAR MAINTENANCE LETTER OF CREDIT RELATED TO THE WALKING TRAILS.
- A 15' UTILITY EASEMENT EXISTS, 7.5 EITHER SIDE OF WATER AND SEWER LINES AS INSTALLED.
- THIS NOTE IS INTENTIONALLY OMITTED.
- BUILDING SETBACKS FOR (R1, OSR) ZONING ARE AS FOLLOWS:
FRONT YARD: 20 FEET
FRONT FACING GARAGE: 30 FEET
SIDE YARD: (MINIMUM OF 20 FEET BETWEEN BUILDINGS) 10 FEET UNLESS SHOWN OTHERWISE.
REAR: 25 FEET
PERIPHERY PROPERTY LINE: 50 FEET
- GRID NORTH IS BASED ON BEARING OF S82°09'10"E BETWEEN TOF CONTROL POINT No. 022 AND 023R. (DISTANCES HAVE NOT BEEN REDUCED TO GRID).
- REGARDING 50' SETBACK ON LOT 60 - LETTER HAS BEEN SUBMITTED TO ALLOW BUILDING WITHIN THE 50' BUFFER.
- THE PURPOSE OF THIS PLAT IS TO RECORD UNIT III OF SHEFFIELD SUBDIVISION.
- PART OF UNIT III LIES WITHIN THE BOUNDS OF THE 100 YEAR (1X) FLOOD ZONE ACCORDING TO F.I.R.M. COMMUNITY-PANEL 47093C0356F, EFFECTIVE DATE: MAY 2, 2007.

Certificate of Ownership and Dedication

I, (We) hereby certify that I am (we are) the owner(s) of the property shown and described herein and that I (we) hereby accept this plan of subdivision with my (our) free consent, establish the minimum building restriction lines, and dedicate all streets, alleys, walks, parks, and other open space to public or private use as noted.

CERTIFICATION OF COMMON AREAS DEDICATION

As owner, in recording this plat, I have designated certain areas of land shown hereon as common areas intended for use by the homeowners within SHEFFIELD UNIT III for recreation and related activities. The above described areas are not dedicated for use by the general public, but are dedicated to the common use of the homeowners within the named subdivision.

"Declaration of Covenants and Restrictions," applicable to the above named subdivision, is hereby incorporated and made a part of this plat.



CERTIFICATE FOR STREET APPROVAL

I certify that streets, sidewalks, and other required improvements have been installed in an acceptable manner and according to town specifications, or that a security bond in the amount of \$ has been posted with the Planning Commission to assure completion of all required improvements in case of default. Streets (are) public streets maintained at public expense.

Date: _____ TOWN ENGINEER
License No.: _____

CERTIFICATE OF APPROVAL OF WATER SYSTEM

I hereby certify that it has been certified to us that the water system(s) outlined or indicated on the final subdivision plot entitled SHEFFIELD UNIT III - have been installed in accordance with current local and state government requirements.

Date, Name, Title, and Agency of Authorized Approving Agent

CERTIFICATE OF APPROVAL FOR RECORDING

I hereby certify that the subdivision plot shown here has been found to comply with the Subdivision Regulations for Farragut, Tennessee, with the exception of such variances, if any, as are noted in the minutes of the Planning Commission and that it has been approved for recording in the Office of the County Register of Deeds.

Date / Secretary, Planning Commission

CERTIFICATE OF APPROVAL OF STREET NAMES

This is to certify that the subdivision shown hereon has been reviewed for compliance with the Knox County Uniform Street Naming & Addressing System Ordinance, and the road names are hereby approved for recording.

Knox County Addressing Division / Date

Certificate of Electric, Gas and Telephone Availability

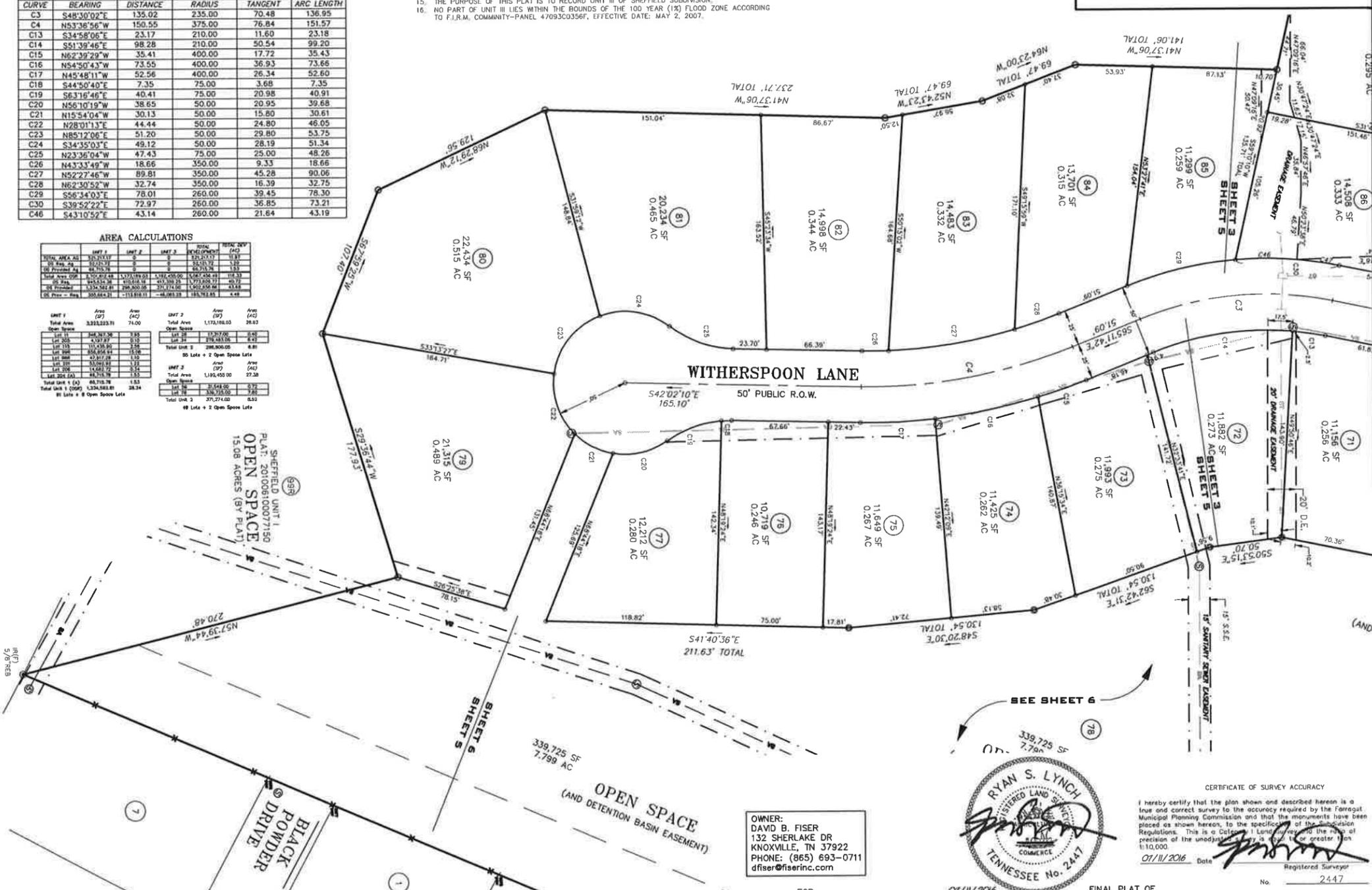
This is to certify that every lot within this subdivision has available to it a source for the service identified by signature(s) below which service source is adequate to accommodate the reasonable needs of such lot as to such service with such subdivision.

Date: _____ GAS Name, Title & Agency of Authorized Approving Agent
Date: _____ ELECTRIC Name, Title & Agency of Authorized Approving Agent
Date: _____ TELEPHONE Name, Title & Agency of Authorized Approving Agent

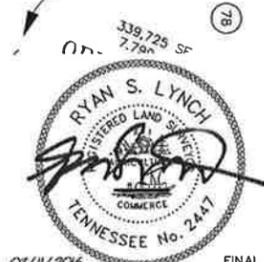
RELEASE OF EASEMENT(S) CERTIFICATION

Except as noted or shown on this plot, the following parties hereby consent to the release of all rights that may have accrued for their use and benefit (1) in the utility, drainage, and construction easements along the original lot lines or (2) in prior easements identified herein which are being eliminated by this plat, on the condition that new utility, drainage, and construction easements are provided along the new property lines or as facilities are otherwise installed or shown hereon. The above provisions notwithstanding prior easements or prior utility placements are not released unless their release is specifically noted hereon. Existing easements or placements shown hereon will not be adversely affected by the development as herein proposed.

Signature (sewer) Date _____
Signature (water) Date _____
Signature (electricity) Date _____
Signature (gas) Date _____
Signature (telephone) Date _____
Signature (cable) Date _____
Signature (Town of Farragut) Date _____



OWNER:
DAVID B. FISER
132 SHERLAKE DR
KNOXVILLE, TN 37922
PHONE: (865) 693-0711
dfiser@fiserinc.com



CERTIFICATE OF SURVEY ACCURACY

I hereby certify that the plan shown and described herein is a true and correct survey to the accuracy required by the Farragut Municipal Planning Commission and that the monuments have been placed as shown hereon, to the specifications of the Subdivision Regulations. This is a Certified Land Survey to the accuracy of precision of the unadjusted survey is not less than 1/10,000.

07/11/2016 Date
Registered Surveyor No. 2447

LYNCH SURVEYS LLC
SUBDIVISIONS | AS-BUILTS | SITE DESIGN
4405 COSTER RD. KNOXVILLE, TENN. 37912
865-584-2630 FAX: 865-584-2801 WWW.LYNCHSURVEY.COM



REVISIONS

NO.	DESCRIPTION	DATE
1	FINAL	06/16/2016
2	TOP Comments	07/11/2016
3		
4		
5		
6		

Saddlebrook Properties LLC
122 Perimeter Park Road
Knoxville, Tennessee 37922
Phone: (865) 690-3200

Sheffield Subdivision - Unit 3
Turkey Creek Road
Town of Farragut, Tennessee
District 6, Knox County, Tennessee

Sheet 5 of 8
PROJECT NO. 3622-3

MEETING DATE: July 21, 2016

REPORT TO THE FARRAGUT MUNICIPAL PLANNING COMMISSION

PREPARED BY: Mark Shipley, Community Development Director

SUBJECT: Discussion and public hearing on a resubdivision of Lots 50, 51 and 61 of the Battery at Berkeley Park, located at the western side of Cotton Blossom Road, Parcels 50, 51 and 61, Tax Map 142A, Group D, Zoned R-1/OSR, 3 Lots, 1.366 Acres (Benchmark Associates, Inc., Applicant)

INTRODUCTION AND BACKGROUND: This item involves a minor resubdivision of two vacant houselots and one open space lot in the Battery at Berkeley Park Subdivision. The purpose of this resubdivision is to create new building envelopes on Lots 50 and 51. As part of this request, Lot 61, an open space lot, will be reduced in size by 665 square feet.

As shown on the resubdivision plat, the proposed reduction in open space square footage does not create a violation in terms of the subdivision maintaining its required amount of open space. The subdivision will still have over 1,500 square feet more open space than is required.

RECOMMENDATION: Included in your packet is a copy of the resubdivision plat. The staff recommends approval.

MEETING DATE: July 21, 2016

REPORT TO THE FARRAGUT MUNICIPAL PLANNING COMMISSION

PREPARED BY: Mark Shipley, Community Development Director

SUBJECT: Discussion and public hearing on a site plan for Autumn Care III Assisted Living, Parcel 117, Tax Map 142, Zoned S-1, located at 400 Herron Road, 4.68 Acres (Autumn Care III, LLC/Peter Falk, Applicant)

INTRODUCTION AND BACKGROUND: This item involves a request for approval of a site plan for an assisted care living facility, to be known as Autumn Care III, at the south intersection of Herron Road and N. Campbell Station Road. As you know, in early 2016, amendments were approved to the Community Service (S-1) Zoning District that would make this district more flexible and more in line with the Civic/Institutional land use described in the Comprehensive Land Use Plan (CLUP).

Consistent with the CLUP, certain quasi institutional uses with a relatively low traffic impact were added as permitted uses in the S-1. This included assisted care living facilities.

DISCUSSION: Since the adoption of the S-1 amendments, the property at the south intersection of Herron Road and N. Campbell Station Road was rezoned from R-2 to S-1 and the CLUP future land use map was amended for this property from Very Low Density Residential to Civic Institutional. The site plan presented for your consideration at this time reflects the applicant's desired development for this property.

As shown, the building will be situated closer to N. Campbell Station Road with parking being provided along Herron Road and to the northeast of the building. The access will be off Herron Road per the recommendation provided for in the Traffic Impact Study that is included in your packet. There will also be a walking trail connection to N. Campbell Station Road from where the trail currently terminates at the boundary of the Cottage Creek Subdivision.

This walking trail connection will include a bridge that will cross an unmapped drainageway. This bridge, and its applicable requirements, will be presented as a separate item at a subsequent planning commission meeting. The applicant has not completed the studies necessary to move forward on taking action in relation to the bridge.

RECOMMENDATION: Included in your packet is the revised site plan for Autumn Care III along with the staffs' comments on the initial site plan that was submitted. The staff will make a recommendation at the meeting based on whether the original comments have been satisfactorily addressed.

June 27, 2016

Mr. Peter Falk
Autumn Care III, LLC.,
9122 Linksvue Drive
Knoxville, TN 37922
autumncare@comcast.net

SUBJECT: STAFF COMMENTS ON THE SITE PLAN FOR THE AUTUMN CARE III ASSISTED LIVING, 400 HERRON ROAD

Dear Peter:

Thank you for your site plan submittal for the Autumn Care III Assisted Living facility at 400 Herron Road. The Town staff has reviewed the initial site plan and would ask that you please address the following items and submit four (4) full size copies and one (1) 11" x 17" reduced set to the Farragut Town Hall by **Monday, July 11, at 5:00 p.m.** Also, upon resubmittal, please include a letter which addresses these comments and that indicates where the information can be found on the plans.

This item will be discussed at the Staff/Developer Meeting at the Farragut Town Hall on Tuesday, July 5, at 1:30 p.m. The purpose of this meeting is to discuss questions you may have on staff comments. Modifications to the plans are not due until Monday, July 11.

Fire Division: (Contact Dan Johnson at dan.johnson@townoffarragut.org)

- 1) Please address items 82-96 of the Site Plan Checklist. It appears only 2-4 of those have been addressed and not completely;
- 2) Please refer to the following Town of Farragut ordinance, and make the appropriate changes toward compliance: 12-102.(5) "The International Building Code, is amended by adding the following: Any structure in excess of 7,000 gross square feet or two or more stories shall be of Type I, II, III or IV construction."
- 3) Please add the 2012 NFPA 101 to the list of design criteria, as it is also adopted by the Town of Farragut;

Planning Division: (Contact Mark Shipley at mark.shipley@townoffarragut.org) or Ashley Miller at Ashley.miller@townoffarragut.org)

- 4) Prior to the issuance of a Certificate of Occupancy a plat will be required which establishes the walking trail and any other new easements and which plats the right of way for the Herron Road deceleration lane;
- 5) Please provide an MPC Certified Address;
- 6) Please number all of the sheets in the submittal 1 of..., 2 of..., 3 of....;
- 7) Please include a legend for all sheets to identify information shown on each sheet;
- 8) Please clearly show each side of the aquatic buffer. The walking trail is not permitted within this area;
- 9) Please include stabilization details for any slopes steeper than 3;1. No slopes shall exceed 2.5:1;
- 10) Please include the locations and calculations for fulfilling the requirements for landscaping between buildings and parking lots. Parking lot islands cannot count toward this requirement;
- 11) All parking lot islands must be (throughout their entire depth) at least 5 feet in width as measured from back of curb to back of curb;
- 12) Please show where the address is proposed;
- 13) Please clearly label the 50 foot transition area along the south portion of the property. Please address what measures are proposed within these transition areas to fulfill the requirements of the S-1 Zoning District;
- 14) Please clearly show the number of required parking spaces (which would appear to be 51) and the number that are being provided. The formula listed is confusing because it discusses the number of units that may be possible with the parking provided. This should not be noted;
- 15) Please provide on the plans a detail of the bicycle parking area and the racks proposed;
- 16) Please provide a vehicular turn-around of 10 feet in depth in the southeastern parking lot area;
- 17) Please verify and demonstrate on the plans that the proposed access to Herron Road is per the TIS recommendation;
- 18) Please line up the driveway access into the development with the parking lot;
- 19) A variance to the Driveways and Other Accessways Ordinance will be needed for the access onto Herron Road. This will be voted on separately as part of the site plan review;
- 20) Please include a detail of the garbage dumpster enclosure. It must be constructed of masonry to match the building;
- 21) Are all of the mechanical units in the eastern corner of the building? Please verify and address the requirement that these be screened by the building they are serving so as to not be visible from any adjacent property or right of way;;
- 22) Please include the cut sheet details for all proposed exterior light fixtures on the site lighting sheet that is part of the site plan package (i.e. your 24 x 36 inch sheets). You may want to look at some other lighting plans to understand what is needed. I will be happy to assist you with this;
- 23) The placement of the walking trail needs further evaluation with the staff. Has the proposed centerline been staked in the field? The bridge will need to be reviewed in relation to the aquatic buffer and flood prevention regulations;

- 24) Please verify (for each building elevation) on the building elevation sheets that are part of the site plan package the masonry (brick and stone) percentages.
Basically, all site information related to this project needs to be included on the 24 x 36 sheets;
- 25) Please provide color renderings for each building elevation;
- 26) Please clarify that "lap siding" is hardie-board;
- 27) The S-1 Zoning District requires the implementation of low impact development techniques for stormwater management. The staff did not see where, on the plans, that this was being addressed. You could address this with landscaped bioswales, rain gardens, permeable pavers, etc;
- 28) A landscape plan must be submitted to and approved by the VRRB prior to the issuance of a grading permit. Certain site related design standards may also need to be addressed with the landscape plan and this aspect of the plan would be assessed as part of the site plan review;
- 29) Prior to the issuance of a Certificate of Occupancy a 2-year landscape maintenance letter of credit will be needed;
- 30) Please include in a numbered note on the plans that no antennas will be used for this project;
- 31) A cross section of the pole lighting is needed on the site lighting sheet to verify compliance with the maximum height permitted. A decorative pole light, such as a bell shaped fixture, is encouraged but not required;
- 32) Please show what the wall light fixtures will look like on the building and that they will not exceed 15 feet in mounted height. A decorative, residential style, fixture is encouraged;
- 33) Please more clearly identify the 15 foot utility easement along N. Campbell Station Road. This appears to meander which is odd for a utility line easement;
- 34) Some of the setback information on the cover sheet is incorrect. Please address;
- 35) Can the radius be tightened at the entrance into the facility?
- 36) Please add an interior landscape island along the row of parking on the north side of the building where there are 14 parking spaces and please make the dashed area a landscaped terminal island;
- 37) Where abutting the aquatic buffer please use wire backed silt fence and include a detail;
- 38) Prior to the issuance of a grading permit the water and sewer plan must be signed off by FUD;
- 39) On the site lighting plan what does Note #1 mean? Also Note #2 needs to be removed because the fixture details must be included on the 24x36 plans;
- 40) In the site lighting fixture schedule please express light output in lumens rather than wattage;
- 41) Prior to the issuance of a Certificate of Occupancy a digital as-built will be required in a JPEG format;
- 42) Please show the lot coverage calculations on the plan (in other words highlight what is being counted toward the lot coverage calculations noted);
- 43) Please correct the adjoining property owner's name on all sheets. I think it is Reeves;
- 44) Please show a north arrow on all sheets, where applicable;

- 45) On the cover page, please correct the name of the zoning district and a typo in the notes;
- 46) Please show and give distances for all existing driveways in the vicinity of this project;
- 47) Please show the stop bar at the N. Campbell Station Road and Herron Road intersection;
- 48) The color and material samples that have been provided as a supplement should be shown on the site plan pages;
- 49) Given the variation in height, the landscaping along N. Campbell Station Road will need to be particularly enhanced;
- 50) Are the brick and stone supposed to have height variations on the walls?
- 51) Please submit an existing tree survey and tree preservation plan.

Engineering Division: (Contact Darryl Smith at Darryl.smith@townoffarragut.org)

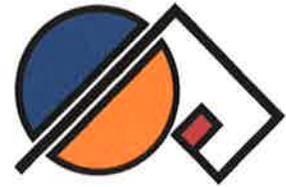
- 52) Please show driveways or distance to driveways in immediate vicinity;
- 53) Depending on what modifications are made in relation to addressing the planning comments above, the revised drainage calculations will then be reviewed by the Town Engineer;
- 54) An irrevocable letter of credit for erosion control will be required and the dollar amount will be provided by the Town Engineer;
- 55) A drainage permit fee will be required and the dollar amount will be provided by the Town Engineer; and
- 56) Please provide a copy of the NOC.

In addition to the e-mail addresses provided above you may also call the designated staff person(s) at 865-966-7057 if you have any questions on the above items. Unless specified otherwise, please include all requested information on the plans. Thank you for your assistance.

Sincerely,

Mark Shipley, AICP
Community Development Director

Darryl Smith, PE
Town Engineer



ODLE & YOUNG
ARCHITECTS

30. Antennas - none; see added Note G8 on Drawing G001
31. Light Fixtures - details added to lighting plans; front of building lights have been changed to "Lantern Style" with frosted glass
32. Light Fixtures - added to Drawings and lowered to not more than 15 feet height on the walls - See elevations, Drawings A201
33. Utility easement line - darkened, it meanders; see Drawing C-2
34. Buffer - the 25 feet has been removed from Drawing G001
35. Entry Radius - 20 feet radius, see Drawing G002
36. Landscape Island - in 14 space parking area, 1 parking space deleted; see Drawing G002 for added island, the 10 feet turn exists but has been clarified; see comment 16
37. Silt Fence @ aquatic buffer - see referenced detail C-2
38. Duly noted, see Drawing G001
39. Lights - Note 1 modified, fixtures added to lighting plans
40. Lights - Lumens added to light fixture schedule on Drawing SE-1
41. Duly noted, see Drawing G001
42. Lot Coverage - see note on Drawing C
43. KGIS says Reeve; corrected
44. North Arrow - added on all plan sheets
45. Zoning - correction shown on Drawing G001
46. Existing Drives - see Drawing C-2
47. Stop Bar - added, see Drawing C-2



ODLE & YOUNG
ARCHITECTS

July 11, 2016

Mark Shipley
Town of Farragut

RE: STAFF COMMENTS ON THE SITE PLAN FOR THE AUTUMN CARE III ASSISTED LIVING
400 HERRON ROAD

The following address the your comments on the Autumn Care III Assisted Living site submittal:

FIRE

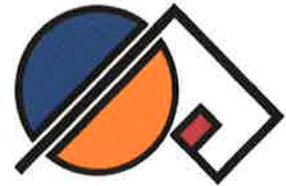
1. Items 82-96, Checklist - See the attached checklist, page 10
2. Building Type - has been changed to IBC Type III-B in the code notes on Drawing G001
3. 2012 NFPA has been added on Drawing G001

PLANNING

4. See Drawing G002 - comment duly noted
5. See enclosed address certification - Drawing G001
6. All sheets have been numbered sequentially
7. Legends have been provided on all sheets
8. Aquatic Buffer - See Drawing C-2, added
9. Stabilization Details - See Drawing C-4
10. See landscaping plans
11. 5 feet Island - See Drawing G002, Note SP 13 and changes on drawings
12. Address - see Drawing G002, added

Project: Autumn Cove III Assisted Living, Herron Rd.

Fire Division	Applicant Yes-No-N/A	Town Staff Comments
82. Show adequate accessibility of buildings for emergency apparatus	YES	SEE NOTE 6002
83. Fire department vehicle access adequate?	YES	SEE 6002
84. Show location of fire lanes and pavement markings	YES	SEE 6002
85. Minimum driveway width: 18' one-way, 25' two-way	YES ✓	
86. Locate all overhead obstructions. Minimum clearance of 13'6"	✓	SEE REVISION 1/A201
87. Adequate turn around must be provided for fire dept. apparatus	YES	SEE 6002
88. Show location and size of all water mains	✓	SEE C-3, UTILITY PLAN
89. Underground fire mains must be installed or supervised by a TN licensed sprinkler system contractor from the point immediately after the tap of the service main	✓	DUELY NOTED
90. Show location of all fire hydrants. Must be within 400' of driving distance to all points of the structure, 600' if sprinklered	YES	SEE C-3, UTILITY PLAN
91. Indicate date and time of test, flow in g.p.m. pressures obtained and name of tester for all existing fire hydrants (must be < 12 months)		SEE C-3, UTILITY PLAN
92. Structure to be sprinklered?	YES	YES, SEE CODE NOTES, 6001
93. Building to have automatic fire detection? (If so, pickup fire alarm submittal pack)	YES	YES, SEE CODE NOTES, 6001
94. Show all building exit locations	✓	SEE, 6002, 001, 002
95. Provide calculated fire flow and quantity of hydrants as per adopted IFC	✓	SEE C-3, UTILITY PLAN ADD NOTE
96. Are hazardous materials to be stored or produced at this location?	NO	



ODLE & YOUNG
ARCHITECTS

13. 50 feet Transition Setback - see Drawing G002, Landscape Plans
14. See revised note on Drawings G002 - parking required
15. Bike Rack - see revised location on Drawing G002, site detail C-4
16. Turn around at end of parking - provided; See G002 (no parking space is for dumpster turnaround)
17. TIS recommendation - see Drawing C-2
18. Drive access into parking - see revised entry on Drawings G002 and civil drawings
19. Variance
20. Dumpster Enclosure - see revised detail on Drawing G003
21. Mechanical Equipment Screen - see Landscaping Plan
22. Site Lights - cut sheets have been added to lighting sheets; note lights in front have been changed and light lumens plan revised
23. Walk Trail - concept is shown in the civil drawings; final design will be in a separate application
24. Elevations - added %, color samples, etc., Drawings A201, A202
25. Render all elevations - done, see Drawing A201
26. Lap siding material - lap siding is wood or fibre cement; see samples
27. S1 Zoning, low impact - see Landscaping Plan and revised civil drawings
28. Landscaping Plan - submitted on July 11
29. Landscaping, 2 year landscape maintenance letter of credit - duly noted



ODLE & YOUNG
ARCHITECTS

- 48. Color Samples - see added note on Drawing A202
- 49. Variation in Height of Landscaping - see Landscaping Plans
- 50. Stone/Brick Variation - yes, see added example photo on Drawing A202
- 51. Tree Survey - included in Landscaping Plans

ENGINEERING

- 52. Driveway Distances - see Drawing C-2
- 53. Revised Drainage Calculations - included
- 54. Duly noted, see Drawing G001
- 55. Duly noted, see Drawing G001
- 56. NOC - shall be submitted with site permit application

JUN 20 2016

TOWN OF FARRAGUT

June 17, 2016

Mr. Peter Falk
Heritage Construction & Management, LLC
9122 Linksvue Drive
Knoxville, TN 37922

RE: Autumn Care III Traffic Evaluation Summary
400 Herron Road
Farragut, Tennessee

Dear Mr. Falk:

This correspondence is intended as a summary report for an evaluation of traffic and access issues related to the referenced senior care facility. This effort was completed in accordance with a previous request from Mr. Elmer Parlier.

Trip generation was conducted for the proposed facility to determine the amount of traffic that can be expected to result. Utilizing standard trip generation rates from the Institute of Transportation Engineers, it was determined that the facility can be expected to generate 8 AM peak hour trips and 12 PM peak hour trips on a typical weekday. As a comparison, a single family development on this parcel with 8 homes, would be expected to generate 15 AM peak hour trips and 11 PM peak hour trips. It should be noted that the most critical peak hour at this location is the AM peak, due to the combination of standard commuter traffic and traffic generated by the several schools in the area. As you can see, this proposed development will generate a small number of trips, fewer during the critical peak hour than a likely alternative development.

An investigation was conducted to determine the best location to place the single driveway that will be required to serve this project. A possible driveway was evaluation located on the east end of the project site, at the site location furthest away from Campbell Station Road. Stopping sight distance was assessed for a speed of 35 mph in accordance with Town of Farragut regulations, which after an adjustment for grade requires a sight distance of 257 feet. Looking north (east) along Herron Road, the sight distance was found to be approximately 225 feet, which does not meet the required distance. A possible mid site driveway location was then investigated, and the available sight distance was found to be adequate, approximately 270 feet. This location would place the proposed driveway near the center of the project site, approximately 110 feet east of the Herron Road stop bar and approximately 138 feet east of the northbound outside through traffic lane on Campbell Station Road.

The proposed driveway location was also reviewed to see if traffic backing-up from the Herron Road stop bar would regularly block the driveway. Signalized capacity analyses were run for three peak hours using the software program Synchro, the current signal timing and the most recently available traffic volume data. The ninety-fifth percentile queue lengths for these runs were 62 feet for the AM peak, 37 feet for the midday peak and 58 feet for the PM peak. All of these are significantly shorter than the 110 foot storage distance that will be available between the stop bar and the proposed driveway.

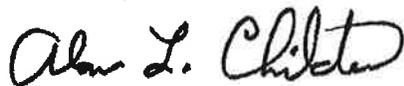
This evaluation has reached three conclusions, as follows:

1. The traffic volumes generated from the proposed senior care facility will be insignificant and will not create any operational problems.
2. The best location for a driveway to serve the project and have acceptable sight distance is near the middle of the site. A location 110 feet east of the Herron Road stop bar for Campbell Station Road is recommended.
3. The proposed driveway location is located far enough from Campbell Station Road such that queuing traffic backing up and blocking the driveway would be very rare.

In accordance with the above evaluations and conclusions, it is recommended that this project be allowed to move forward and the driveway for this project site be located 110 feet east of the Herron Road stop bar for Campbell Station Road.

Please do not hesitate to contact us with any questions or if you require additional information.

Sincerely,



Alan L. Childers, P.E.
Vice President



SITE PLAN NOTES

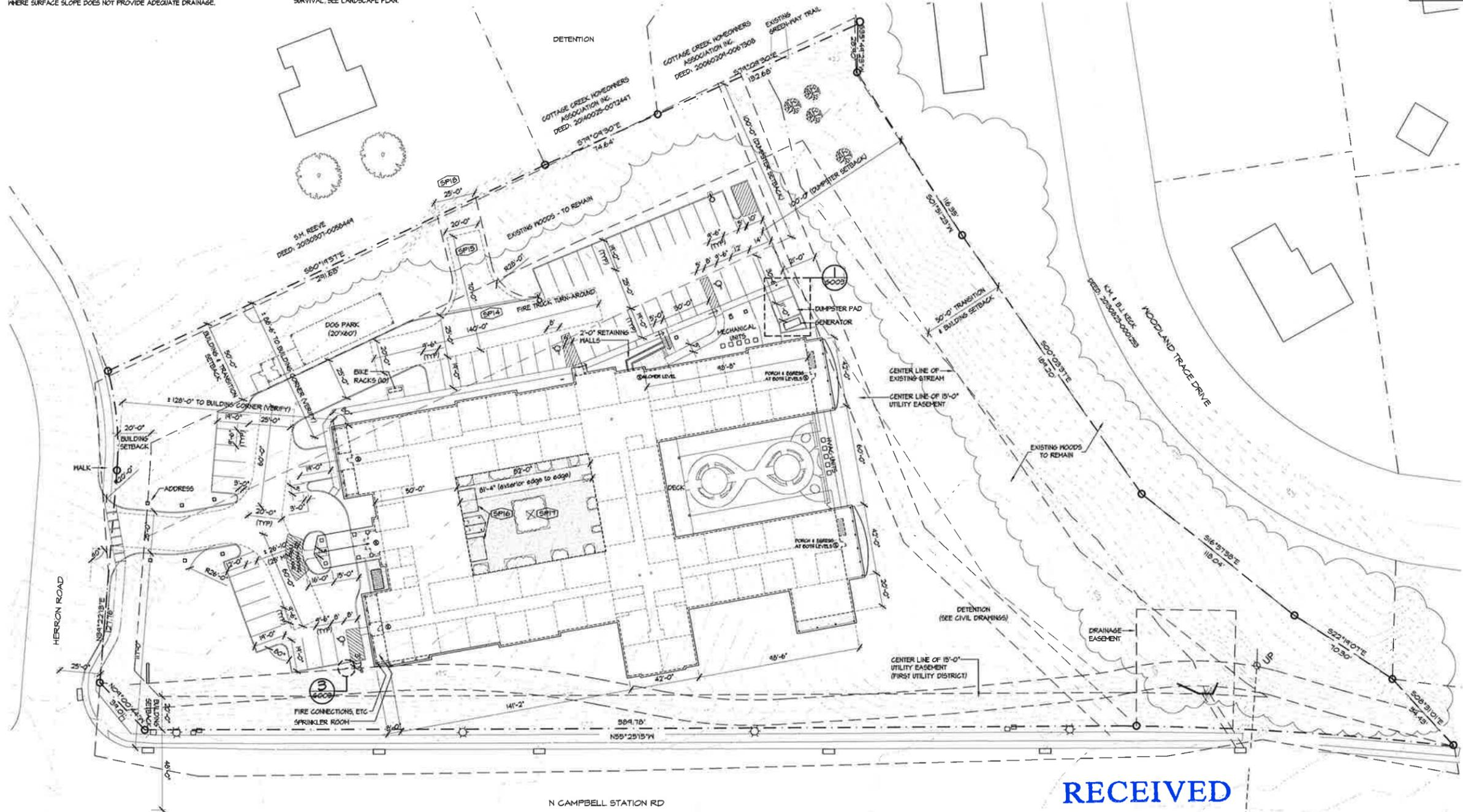
- SP1 BOUNDARY INFORMATION, TOPOGRAPHIC INFORMATION, & OTHER SITE INFORMATION IS TAKEN FROM KNOX COUNTY GIS MAPS, BOUNDARY SURVEY BY LEMAY & ASSOCIATES, & OTHER DOCUMENTS PROVIDED BY THE OWNER.
- SP2 HVAC EQUIPMENT SHALL BE ON SIDE OR REAR (NON-ROAD SIDE), IT WILL BE PLACED MORE THAN 100'-0" FROM RESIDENTIAL ZONE PROPERTY - IT SHALL BE SCREENED WITH LANDSCAPE.
- SP3 ALL GROUND DISTURBED BY CONSTRUCTION SHALL BE REPAIRED/REPLACED WITH TOPSOIL, THIS SHALL BE GRADED, RAKED, SEEDED, MULCHED, & WATERED PER SPECIFICATIONS, UNLESS OTHER LANDSCAPING IS INDICATED - SEE LANDSCAPE PLAN.
- SP4 EXISTING WOOD SHALL BE RETAINED TO FULL EXTENT FEASIBLE, THE WOODS WITHIN THE 25'-0" BUFFER AGAINST RESIDENTIAL ZONE AT SIDE & REAR SHALL BE RETAINED & FUNCTION ALSO AS REQUIRED FOR "25'-0" BUFFER PLANTINGS".
- SP5 PARKING LOT PAVEMENT SHALL BE BITUMINOUS PAVING, THICKNESS AS NOTED ON DRAWINGS, WITH 8" MACHINE-FORMED CONCRETE CURBS, SIDEWALKS & DUMPSTER PAD TO BE CONCRETE, THICKNESS AS NOTED ON DRAWINGS.
- SP6 IN ALL AREAS, PROVIDE POSITIVE DRAINAGE, SLOPE GRADE AWAY FROM BUILDINGS, MAINTAIN & EXTEND EXISTING SHALES, PROVIDE FRENCH DRAIN TO GRADE WHERE SURFACE SLOPE DOES NOT PROVIDE ADEQUATE DRAINAGE.

- SP7 SIDEWALK CONCRETE SHALL HAVE:
 - 3900 P.S.I. MINIMUM AT 28 DAYS
 - 5% AIR ENTRAINMENT
 - JOINTS IN SIDEWALK AT 5 FEET INTERVALS
 - WOOD FLOAT AND LIGHT BROOM FINISH FOR SLIP RESISTANCE
- SP8 PUBLIC WALKS CONNECTING PRIMARY ENTRANCES SHALL BE HANDICAP ACCESSIBLE WITH A MINIMUM CLEAR WIDTH OF 48" SLOPE OF ACCESSIBLE WALKS SHALL NOT EXCEED 1:20 (1" RISE OVER 20" RUN) WHERE HANDRAILS ARE PROVIDED, SLOPE SHALL NOT EXCEED 1:12, CURB CUTS & CURB RAMPS SHALL NOT EXCEED 1:12.
- SP9 SIGN SHALL BE APPLIED FOR SEPARATELY, MONUMENT-TYPE SIGNAGE TO BE CONSTRUCTED OF MATERIALS MATCHING THE CHARACTER & COLOR OF THE BUILDING; IT SHALL BE EITHER INTERNALLY-LIT, OR ILLUMINATED BY GROUND-MOUNTED FLOODLIGHTS, & SET AMONGST DECORATIVE LANDSCAPING. LIGHTING SHALL MEET FARRAGUT REQUIREMENTS.
- SP10 BUILDING ENTRANCE, ACCESSIBLE PARKING SPACE, & ADJACENT LOADING ZONE SLOPE SHALL NOT EXCEED 1:50 IN ALL DIRECTIONS.
- SP11 ALL TREES RETAINED OR PROVIDED TO MEET THE REQUIREMENTS OF THE CITY OF FARRAGUT SHALL BE PROPERLY MAINTAINED TO ENSURE THEIR SURVIVAL. SEE LANDSCAPE PLAN.

- SP12 THERE SHALL BE PROVIDED SHRUBS SCREENING ALONG FRONT YARD PARKING, SEE LANDSCAPE PLAN.
- SP13 ALL PARKING LOT ISLANDS SHALL BE MINIMUM 5'-0" FROM BACK OF CURB TO BACK OF CURB FOR FULL DEPTH OF ISLAND.
- SP14 DRIVE OVER CURB
- SP15 GRASS PAVEMENT SUFFICIENT TO SUPPORT 15,000 lbs IMPOSED TRUCK LOAD.
- SP16 GREENHOUSE
- SP17 LANDSCAPE AREA AT INNER-COURT
- SP18 25'-0" FUTURE ACCESS EASEMENT
- SP19 CONCEPTUAL GREENWAY PATH IS SHOWN ON CIVIL & LANDSCAPE DRAWINGS. DETAILED WALKWAY & BRIDGE WILL BE SUBMITTED LATER IN A SEPARATE APPLICATION AS PER CONVERSATION WITH FARRAGUT PLANNING.

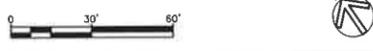
LEGEND

LIGHT POST	○
LIGHT BOLLARD	◻
EGRESS	●
EXISTING WOODS	~~~~~
CURB	—
FOUNTAIN (PER LANDSCAPE)	⊗
PERGOLA	▨
CONCRETE	▭
STONE PAVERS	▨
NO PARKING AREA	▨



RECEIVED
JUL 13 2016
TOWN OF FARRAGUT

Enlarged Site Plan
 SCALE: 1" = 30'-0"



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Autumn Care III, LLC Assisted Living
 400 Herron Rd & Campbell Station Road
 Knoxville, TN 37934

MARK	DATE	ISSUE FOR
	05/16/2016	Permitting
	06/07/2016	Client Meeting
	06/20/2016	Site Planning
	07/11/2016	Site Planning Revision

PROJECT #	15026
DRAWN	GAC
CHECKED	
SHEET TITLE	Site Plan & Notes
SHEET	6002
PROJECT NAME	Autumn Care III



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 www.odyarchitects.com



1000 Mountain Park Lane
 Knoxville, TN 37921
 1000 Mountain Park Lane
 Knoxville, TN 37921

DATE:	03/05/2016	CSLIC, FDP
REVISION:	06/20/2016	Marked
REVISION:	06/20/2016	Client Meeting
REVISION:	07/02/2016	Site Planning
REVISION:	07/28/2016	

PROJECT #	
DRAWN	
CHECKED	
SHEET TITLE	GRADING AND DRAINAGE PLAN
DRAWN	
CHECKED	C-2
SHEET #	6 OF 10
PROJECT NAME	

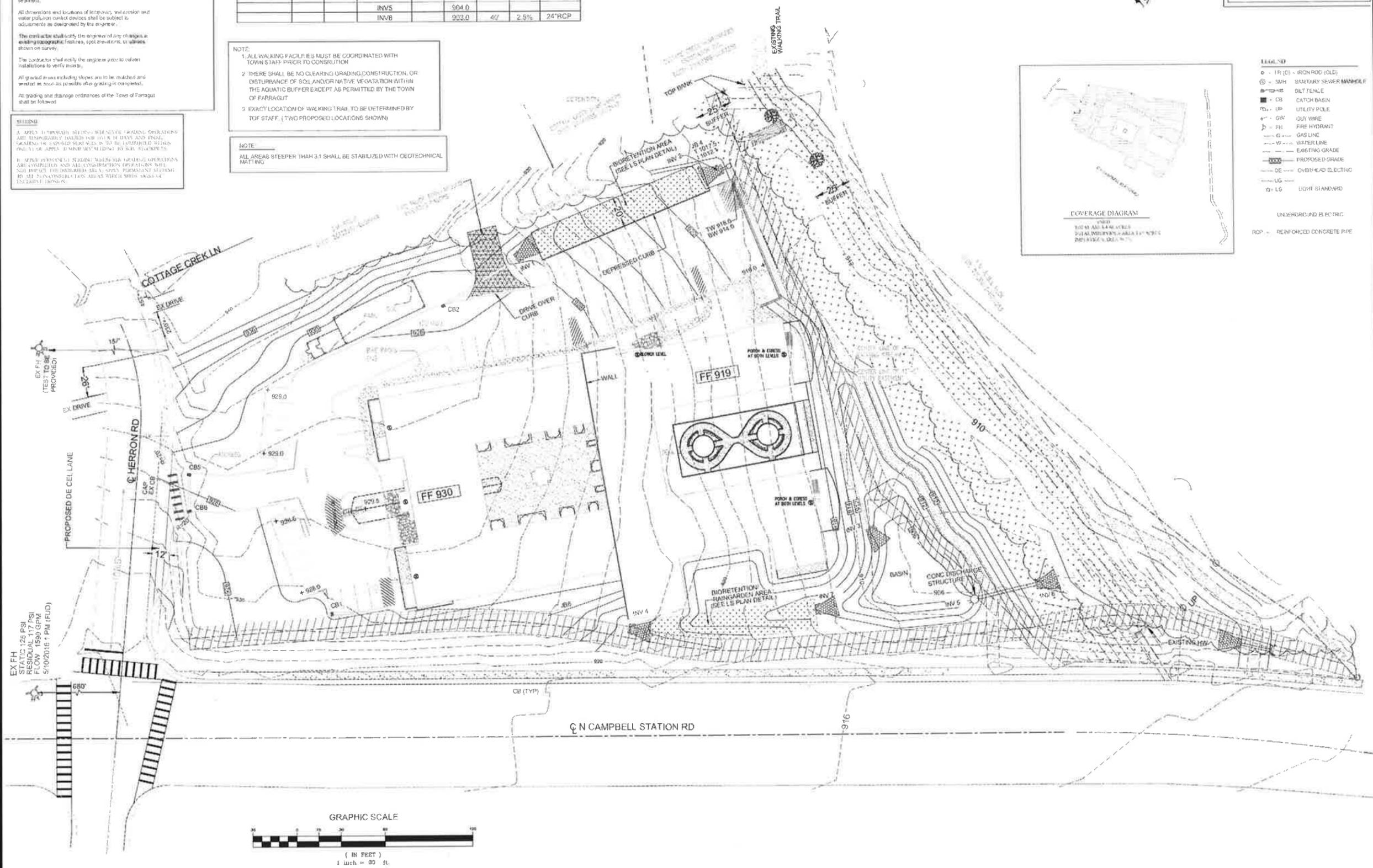
UPSTREAM STRUCTURE	TOP	INVERT	DOWNSTREAM STRUCTURE	TOP	INVERT	CULVERT		
						LENGTH	SLOPE	MATERIAL
CB1	927.7	924.7	JB6	926.0	921.0	15'	2.4%	18" HDPE
CB2	927.6	923.6	INV 1		923.12	48'	1.0%	18" HDPE
INV2		912.5	JB4	917.5	912.1	4'	10.0%	18" HDPE
JB4	917.5	912.1	INV7		908.0	263'	1.62%	18" HDPE
			INV3		910.0			
			INV5		904.0			
			INV8		903.0	40'	2.5%	24" RCP

NOTE:
 1. ALL WALKING FACILITIES MUST BE COORDINATED WITH TOWN STAFF PRIOR TO CONSTRUCTION.
 2. THERE SHALL BE NO CLEARING, GRADING, CONSTRUCTION, OR DISTURBANCE OF SOIL AND/OR NATIVE VEGETATION WITHIN THE AQUATIC BUFFER EXCEPT AS PERMITTED BY THE TOWN OF FARRAGUT.
 3. EXACT LOCATION OF WALKING TRAIL TO BE DETERMINED BY TOW STAFF. (TWO PROPOSED LOCATIONS SHOWN)

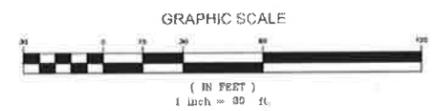
NOTE:
 ALL AREAS STEEPER THAN 3:1 SHALL BE STABILIZED WITH GEOTECHNICAL MATTING.

GRADING AND EROSION CONTROL NOTES
 Prior to grading, contractor shall strip site of all vegetation and topsoil in areas of grading operation. Areas of soil or unsuitable materials shall be removed in the direction of the slope engineer.
 The contractor shall maintain erosion control throughout the site and use all controls necessary to prevent sediment from exiting the site.
 Silt fence shall be placed preceding all excavation or other drains and ditches before the runoff enters the project or enters a stream and at other locations designated by the engineer.
 Silt fence and other erosion control devices shall be cleaned of accumulated sediment when approximately 50% filled with silt sediment.
 All dimensions and locations of features, and erosion and water pollution control devices shall be subject to adjustments as designated by the engineer.
 The contractor shall notify the engineer of any changes in existing topographic features, spot elevations, or utilities shown on survey.
 The contractor shall notify the engineer prior to culvert installation to verify inverts.
 All grading areas including slopes are to be stabilized and watered as soon as possible after grading is completed.
 All grading and storage ordinances of the Town of Farragut shall be followed.

SEEDING
 A. APPLY 10 TONS PER ACRE OF SEED MIXTURE. OPERATIONS ARE TO BE COMPLETED WITHIN 14 DAYS AND FINAL GRASSING OR SOFTWOOD SEEDING IS TO BE COMPLETED WITHIN 30 DAYS. APPLY 10 TONS PER ACRE OF SEED MIXTURE.
 B. APPLY PERMANENT SEEDMENT WITHIN THE GRADING OPERATIONS ARE COMPLETED AND ALL DISTURBED AREAS SHALL BE REVEGETATED WITHIN 14 DAYS. APPLY PERMANENT SEEDING TO ALL NON-CORROSION AREAS WHERE SEEDS SUGGESTED BY THE ENGINEER.

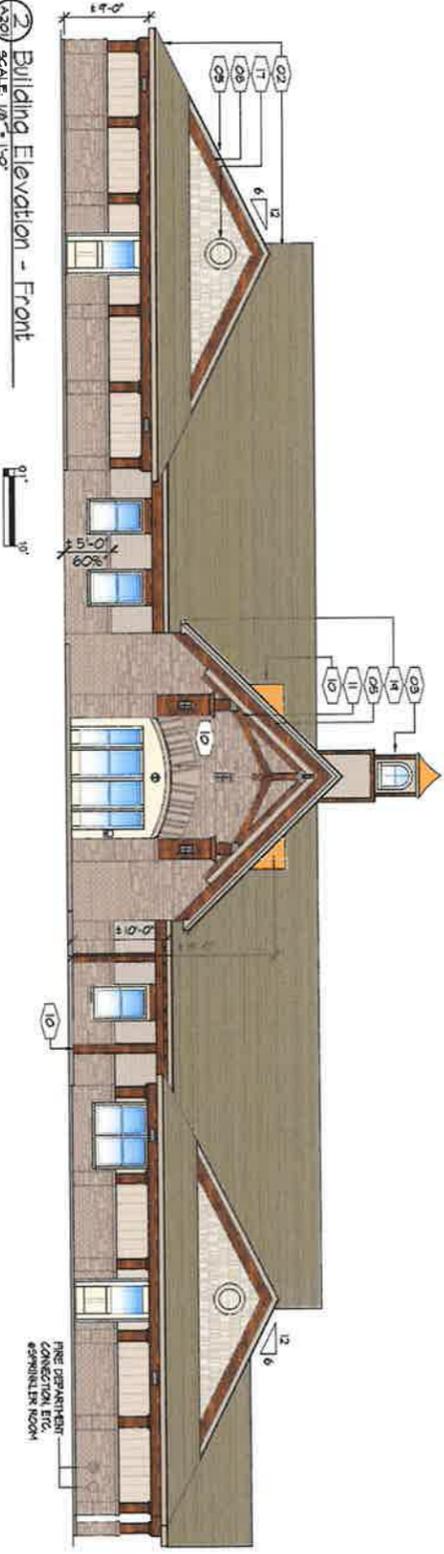


- LEGEND**
- IR (C) - IRON ROD (OLD)
 - ⊗ SMH - SANITARY SEWER MANHOLE
 - ▭ SILT FENCE
 - ▭ CB - CATCH BASIN
 - UP - UTILITY POLE
 - GW - GUY WIRE
 - FH - FIRE HYDRANT
 - G - GAS LINE
 - W - WATER LINE
 - E - EXISTING GRADE
 - P - PROPOSED GRADE
 - DE - OVERHEAD ELECTRIC
 - UC - UNDERGROUND ELECTRIC
 - LG - LIGHT STANDARD
- UNDERGROUND ELECTRIC
 RCP - REINFORCED CONCRETE PIPE

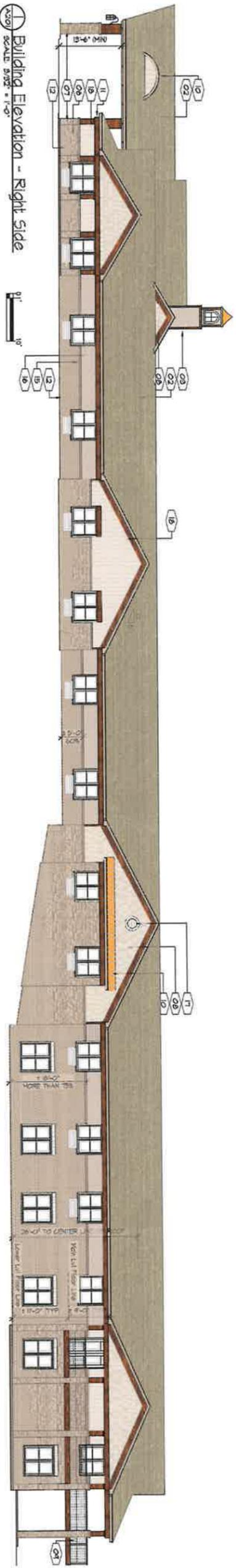


LEGEND	
NO. ITEM	COLOR
01	BLANDED/SHINGLE RIDGE VENT
02	ARCHITECTURAL DIVISIONAL SHINGLES
03	CAROLINA WHITE METAL ROOF
04	EAVE TRIM & DRIP
05	1" TRIM
06	CULTURED STONE VENEER
07	STONE VENEER COLUMN
08	SHAKES - FIBER CEMENT OR EQUAL BONAITE TREATED WOOD
09	STAINLESS STEEL CABLE
10	CLAD STANDING SEAM
11	ROOF - STAINED 2" TRIM
12	BRICK
13	BRICK SOLDIER
14	BRICK CAP
15	BRICK - WATER TABLE
16	LAP SIDING
17	2" ROUND VENT & TRIM
18	BOARD & BATTEN LOOK
19	GUTTERS & DOWNPOUTS
20	Light Fixtures
21	DECORATIVE BRICKSTONE TRUCE WITH BRICK COLUMNS
22	PERGOLA

NO LIGHT ON BUILDING HIGHER THAN 15'-0" OFF GROUND



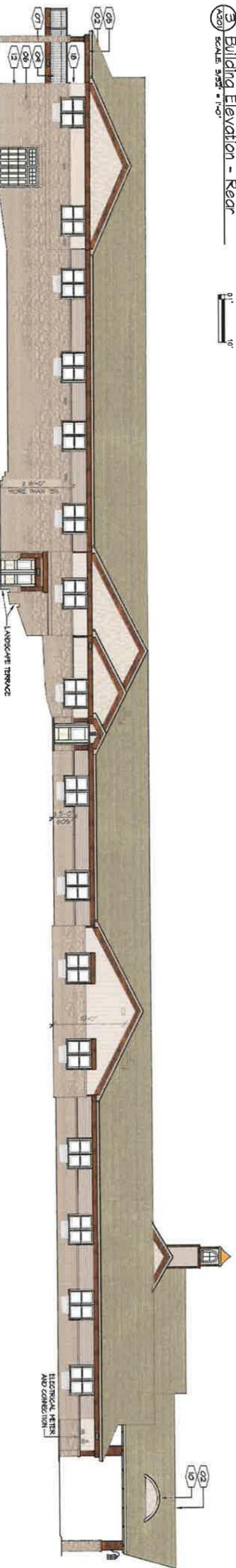
2 Building Elevation - Front
SCALE 1/8" = 1'-0"



1 Building Elevation - Right Side
SCALE 1/8" = 1'-0"



3 Building Elevation - Rear
SCALE 1/8" = 1'-0"



4 Building Elevation - Left Side
SCALE 1/8" = 1'-0"

MARK	DATE	ISSUE FOR
	05/16/2016	Marketing
	06/01/2016	Client Meeting
	06/20/2016	Site Planning
	07/11/2016	Site Planning Revision

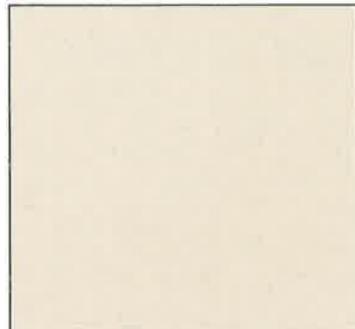
PROJECT #	A201
PROJECT NAME	Autumn Care III
CLIENT	Autumn Care III
DATE	07/11/2016
SCALE	1/8" = 1'-0"
SHEET TITLE	Preliminary Elevations
SHEET NO.	1

Autumn Care III, LLC
Assisted Living
400 Herron Rd & Campbell Station Road
Knoxville, TN 37934

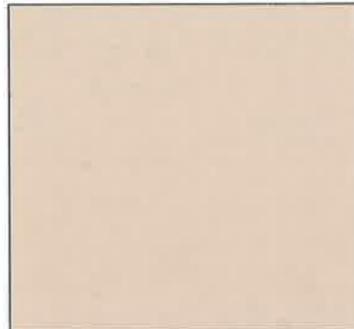
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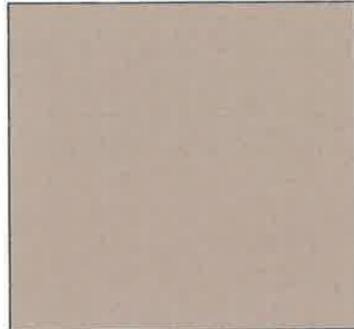




EAVE TRIM & DRIP
(Benjamin Moore AC-35 Valley Forge Tan)



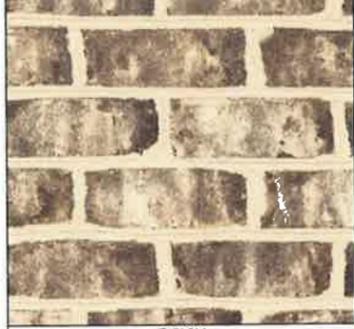
BOARD & BATTEN & SHAKES LOOK
(Benjamin Moore AC-35 Shenandoah Taupe)



LAP SIDING
(Benjamin Moore AC-36+ slightly darker)



CULTURED STONE VENEER
(RealStone Veneers - Tn. Gray Ashlar)



BRICK
(General Shale - Everest Gray Tudor)



DECORATIVE BRICK/STONE
(sample pattern)



12" TRIM
(Wood Stain - Cordovan Brown)



ARCHITECTURAL DIMENSIONAL SHINGLES
(GAF Timberline HD - Weathered Wood)



EXTERIOR STONE PAVERS
(sample)



SHAKES - FIBER CEMENT OR EQUAL
(AC-35)



COPPER ROOF
(standing seam)



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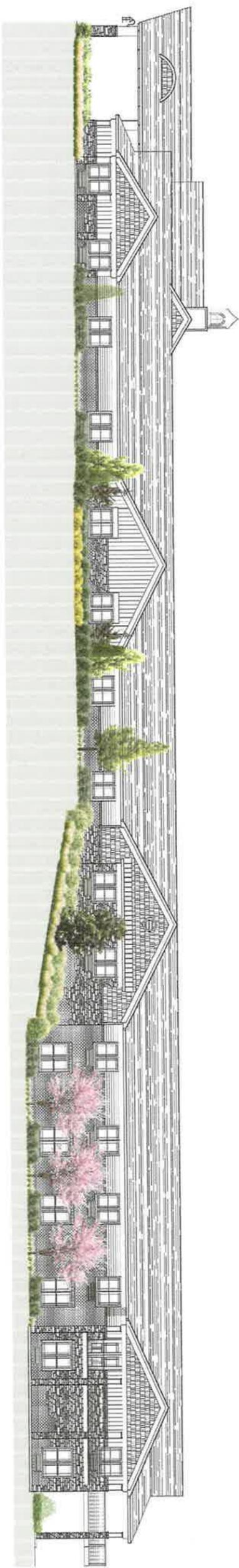


Autumn Care III, LLC Assisted Living

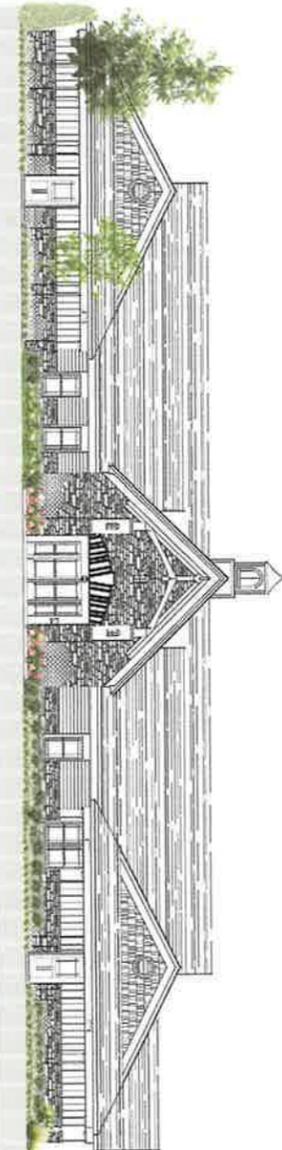
400 Herron Rd & Campbell Station Road
Knoxville, TN 37934

MARK	DATE	ISSUE FOR
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	06/01/2016	Client Meeting
	06/20/2016	Site Planning
	07/11/2016	Site Planning Revision

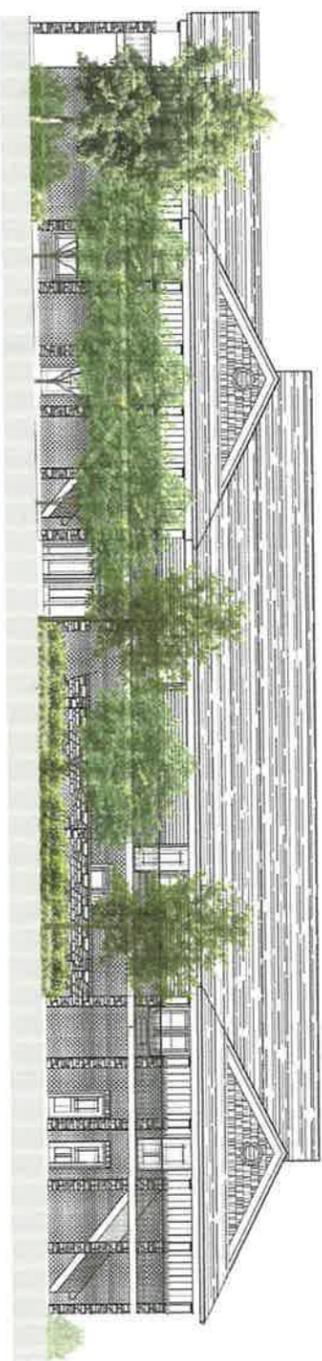
PROJECT #	19026
DESIGN	GAC
CHECKED	
SHEET TITLE	Exterior Finishes (colors & materials)
SHEET	A202
	SHEET 15 OF 19
PROJECT NAME	Autumn Care III



1 Building Elevation - Right Side
 Scale: 3/32" = 1'-0"



2 Building Elevation - Front
 Scale: 3/32" = 1'-0"



3 Building Elevation - Rear
 Scale: 3/32" = 1'-0"



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MARK	DATE	ISSUE FOR
-	03/16/2016	Marketing
-	06/01/2016	Client Meeting
-	06/20/2016	Site Planning
-	07/11/2016	Site Planning Revision

PROJECT #	13026
EXAMINER	
DATE	
PROJECT NAME	Autumn Care III
SHEET	L202
SHEET TITLE	Landscape Elevations

MEETING DATE: July 21, 2016

REPORT TO THE FARRAGUT MUNICIPAL PLANNING COMMISSION

PREPARED BY: Mark Shipley, Community Development Director

SUBJECT: Discussion and public hearing on text amendments to the Farragut Zoning Ordinance, Chapter 3., Section IX., Attached Single-Family Residential District (R-4)., Subsection D.1.b., to amend the front yard setback provisions when parking garages are rear loaded (Benchmark Associates, Inc., Applicant)

INTRODUCTION AND BACKGROUND: This item involves a request to amend the front yard setback requirements in the R-4 Zoning District. The R-4 District provides for attached single-family dwelling units and has very different setback requirements from single-family detached dwelling units.

One objective of the R-4 District is to provide some flexibility in garage placement so that dwelling units may engage the public street in a more visually appealing manner. In an R-4 development, dwelling units are spaced closer together which can also lead to driveways being placed closer together. With this in mind, the R-4 District provides for the opportunity for rear loaded garages accessed through an alley. Some R-4 developments in the Town have used alleys in order to eliminate the appearance of closely spaced driveways and garage doors from the public street. Where a dwelling unit has a rear loaded garage, the R-4 District allows for such dwelling unit to be moved closer to the street. Such a dwelling unit can be up to 15 feet from the street. Where a dwelling unit's garage faces a public street, the building setback is greater and must be at least 20 feet from the street. Illustration 14 in your packet demonstrates the flexible front yard setback provisions in the R-4 District.

DISCUSSION: The request at this time is to expand on the front yard setback flexibility in the R-4 District and to permit, for those dwelling units with rear loaded garages, the opportunity for an extended covered porch overhang.

Historically, the front porch has been an element for engagement with the street and pedestrian facilities along such street. It is a setting for conversation and interaction. From the applicant's perspective, the ability to extend a covered porch overhang closer to the street enhances this aspect of the front porch.

As outlined in Ordinance 16-20, the applicant has requested that Subsection D.1.b., Front Yards, in the R-4 District be amended by adding, as a third paragraph, the following:

In order to provide for an opportunity for a dwelling unit to more effectively engage the public street, a covered porch overhang may be extended so that the furthestmost projection could be up to ten (10) feet from the street. Such overhang shall not encroach into the public right of way, interfere with landscaping along the street edge, and/or conflict with any utilities or pedestrian facilities. Such overhangs shall be shown as part of the residential site plan and are only an option where garages are rear loaded and do not face the street and when no additional parking spaces are provided in front of the dwelling unit.

RECOMMENDATION: Included in your packet is Resolution PC-16-16 which recommends approval of Ordinance 16-20. With the stipulations noted in Ordinance 16-20, the staff would support the option of extending a porch overhang in an effort to enhance the streetscape and provide for a more engaged interface between the public street and a dwelling unit. Such flexibility could advance certain site design guidelines, such as Streetscape and Building Setbacks and Frontage, provided for in the Architectural Design Standards.

RESOLUTION PC-16-16

FARRAGUT MUNICIPAL PLANNING COMMISSION

A RESOLUTION TO APPROVE AN AMENDMENT TO THE TEXT OF THE FARRAGUT ZONING ORDINANCE, ORDINANCE 86-16, AS AMENDED, PURSUANT TO AUTHORITY GRANTED BY SECTION 13-4-201, TENNESSEE CODE ANNOTATED, BY AMENDING CHAPTER 3., SPECIFIC DISTRICT REGULATIONS, SECTION IX., ATTACHED SINGLE-FAMILY RESIDENTIAL DISTRICT (R-4)., SUBSECTION D.1.b., TO AMEND THE FRONT YARD SETBACK PROVISIONS WHEN GARAGES ARE REAR LOADED AND DO NOT FACE THE STREET AND WHEN NO ADDITIONAL PARKING SPACES ARE PROVIDED IN FRONT OF THE DWELLING UNIT

WHEREAS, the Tennessee Code Annotated, Section 13-4-201 et seq, provides that the Municipal Planning Commission shall make and adopt a general plan for the physical development of the municipality; and

WHEREAS, the Farragut Municipal Planning Commission has adopted various elements of a zoning plan as an element of the general plan for physical development; and

WHEREAS, a public hearing was held on this request on July 21, 2016;

NOW, THEREFORE, BE IT RESOLVED that the Farragut Municipal Planning Commission hereby recommends approval to the Farragut Board of Mayor and Aldermen of an ordinance, amending Ordinance 86-16, of the Farragut Zoning Ordinance, by adding Ordinance 16-20.

ADOPTED this 21st day of July, 2016.

Rita Holladay, Chairman

Edwin K. Whiting, Secretary

ORDINANCE: 16-20
PREPARED BY: Shipley
REQUESTED BY: Benchmark Associates, Inc.
CERTIFIED BY FMPC: July 21, 2016
PUBLIC HEARING: _____
PUBLISHED IN: _____
DATE: _____
1ST READING: _____
2ND READING: _____
PUBLISHED IN: _____
DATE: _____

AN ORDINANCE TO AMEND THE TEXT OF THE FARRAGUT ZONING ORDINANCE, ORDINANCE 86-16, AS AMENDED, PURSUANT TO AUTHORITY GRANTED BY SECTION 13-4-201, TENNESSEE CODE ANNOTATED, BY AMENDING CHAPTER 3., SPECIFIC DISTRICT REGULATIONS, SECTION IX., ATTACHED SINGLE-FAMILY RESIDENTIAL DISTRICT (R-4)., SUBSECTION D.1.b., TO AMEND THE FRONT YARD SETBACK PROVISIONS WHEN GARAGES ARE REAR LOADED AND DO NOT FACE THE STREET AND WHEN NO ADDITIONAL PARKING SPACES ARE PROVIDED IN FRONT OF THE DWELLING UNIT

WHEREAS, the Board of Mayor and Aldermen of the Town of Farragut, Tennessee, wishes to amend Chapter 3, Specific District Regulations, of the Farragut Zoning Ordinance, Ordinance 86-16,

NOW, THEREFORE, BE IT ORDAINED by the Board of Mayor and Aldermen of the Town of Farragut, Tennessee, that the Farragut Zoning Ordinance is hereby amended as follows:

SECTION 1.

The Farragut Zoning Ordinance, Chapter 3, Specific District Regulations, Section IX., Attached Single-Family Residential District (R-4), Subsection D.1.b., Front Yards, is amended by adding, as a third paragraph, the following:

In order to provide for an opportunity for a dwelling unit to more effectively engage the public street, a covered porch overhang may be extended so that the furthestmost projection could be up to ten (10) feet from the street. Such overhang shall not encroach into the public right of way, interfere with landscaping along the street edge, and/or conflict with any utilities or pedestrian facilities. Such overhangs shall be shown as part of the residential site plan and are only an option where garages are rear loaded and do not face the street and when no additional parking spaces are provided in front of the dwelling unit.

SECTION 2.

This ordinance shall take effect from and after its final passage and publication, the

public welfare requiring it.

Dr. Ralph McGill, Mayor

Allison Myers, Town Recorder

Certified to the Farragut Board of Mayor and Aldermen this ____ day of _____, 2016,
with approval recommended.

Rita Holladay, Chairman

Edwin K. Whiting, Secretary

FARRAGUT MUNICIPAL PLANNING COMMISSION

11. Dwelling units shall be provided reasonable visual privacy. Each attached dwelling unit shall have exclusive enjoyment of a private yard, patio, deck, or other outdoor area immediately adjacent or contiguous to the dwelling units on the lot, which area shall contain not less than 400 square feet. Fences, walls, and/or landscaping shall be used in providing the protection and privacy of the private outdoor areas.

Permanent outdoor fireplaces and grills may be constructed within the private outdoor areas provided such structures are set back a minimum of five (5) feet from all buildings, are set back a minimum of twenty-five (25) feet from all front property lines, do not exceed six (6) feet in height, are gas powered only, and meet all requirements of the Municipal Code.

Arbors and pergolas may be constructed within the private outdoor areas provided such structures are set back a minimum of twenty-five (25) feet from all peripheral and front property lines, do not exceed fifteen (15) feet in height, and do not exceed twenty-five percent (25%) of the platted private outdoor area.

12. The development should consider providing street lighting. All street lights shall conform with approved Town standards. Such street lighting located on private streets shall be owned and maintained by the same entity responsible for maintenance and ownership of the common open space.
13. Common driveways, parking areas, walks and steps shall be provided, maintained, and lighted for night use where appropriate.
14. Sidewalks shall be constructed per the Farragut Subdivision Regulations.
15. Landscape plans shall be submitted as regulated in Chapter 4.
16. Utility plans shall be submitted.
17. Subdivision plats shall be submitted as regulated in the Farragut Subdivision Regulations. All applicable requirements of this section shall be included as part of the plat submission.

 D. Area Regulations

1. Setback Requirements
- a. Peripheral Property Lines: All buildings shall be set back a minimum of fifty (50) feet from peripheral front, side, and rear property lines. The buffer strip shall be included in the required peripheral building setback.
 - b. Front Yard: All buildings and/or dwelling units shall be set back a minimum of twenty (20) feet from all streets interior to the development

when a dwelling unit's garage faces the street, when no garages are constructed for a dwelling unit, and/or when additional parking spaces are provided in front of a dwelling unit.

Insert language
here

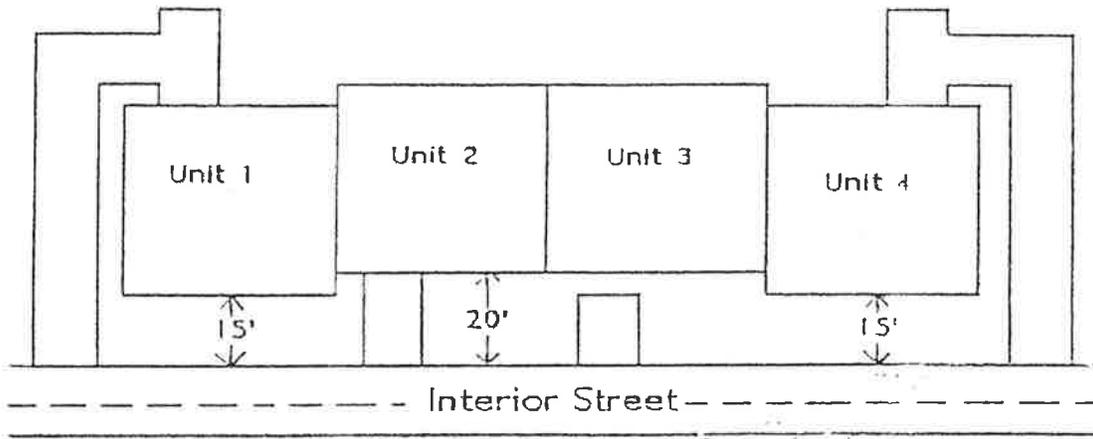


All buildings and/or dwelling units shall be set back a minimum of fifteen (15) feet from all streets interior to the development when garages are rear loaded and do not face the street and when no additional parking spaces are provided in front of the dwelling unit. Please refer to Illustration 14. This illustration depicts the intent of the regulation.

- c. Side Yard: In order to eliminate the appearance of row housing, the distance between buildings when sides of buildings are adjacent shall be varied. The total minimum distance between buildings shall be based on the total number of buildings constructed in a row multiplied by twelve (12) feet. The minimum distance between two adjacent buildings shall be ten (10) feet. For example, if four buildings are located in a row, the total minimum separation between the four buildings shall be forty-eight (48) feet. Please refer to Illustration 14. This illustration depicts the intent of the regulation.
- d. Rear Yard: The minimum distance between buildings when rears of buildings are adjacent shall be forty (40) feet.
- e. Side/Rear Yard: The minimum distance between buildings when sides/rears of buildings are adjacent shall be twenty-five (25) feet.
- f. All accessory structures, excluding fences, subdivision walls, entrance pillars, and certain utility structures, shall be set back a minimum of twenty-five (25) feet, except as provided for elsewhere in this ordinance or the Municipal Code. Subdivision walls and entrance pillars shall be set back a minimum of ten (10) feet. Electrical substations, utility offices, or any other utility building shall meet the front yard setback requirements.

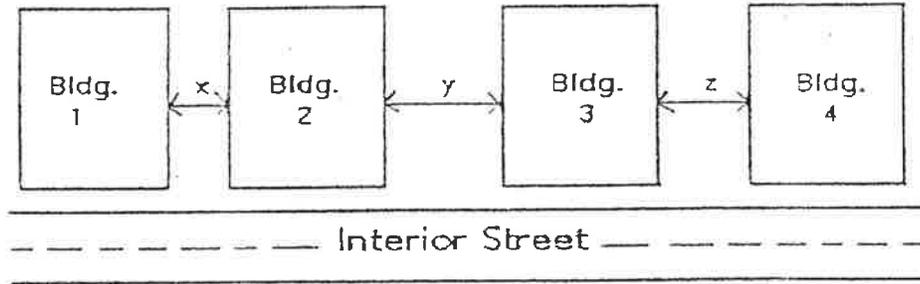
2. Buffer Strips

- a. There shall be a buffer strip a minimum of twenty-five (25) feet in width on all front, side, and rear peripheral property lines. The buffer strip shall be included in the required peripheral building setback, shall be planted and platted at the time of subdivision, and shall be owned and maintained by the property owners' organization;
- b. Existing, mature vegetation shall be preserved and incorporated into the buffer strip.
- c. Detention basins, measured from top-of-slope to top-of-slope, and associated structures shall not be located within any buffer strips.



R-4 District
Required Space Between Buildings

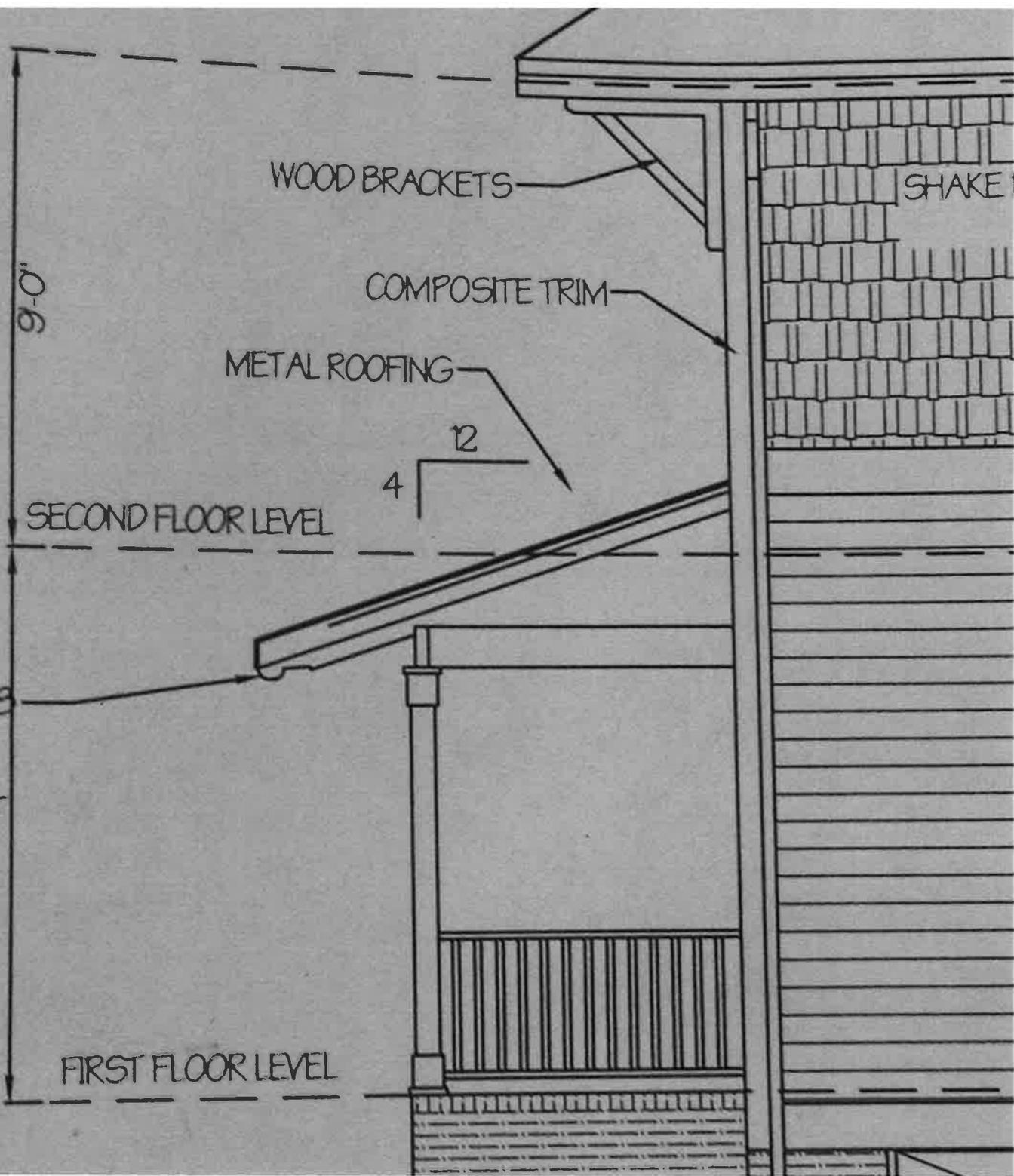
$$4 \text{ Buildings} \times 12 \text{ feet} = 48 \text{ feet}$$
$$x + y + z = 48 \text{ feet}$$



R-4 District
Required Space Between Buildings

ILLUSTRATION 14: ATTACHED SINGLE-FAMILY RESIDENTIAL (R-4)





WOOD BRACKETS

SHAKE

COMPOSITE TRIM

METAL ROOFING

12
4

SECOND FLOOR LEVEL

SEE RAFTER TAIL DETAIL ON A 8

10'-2 3/4"

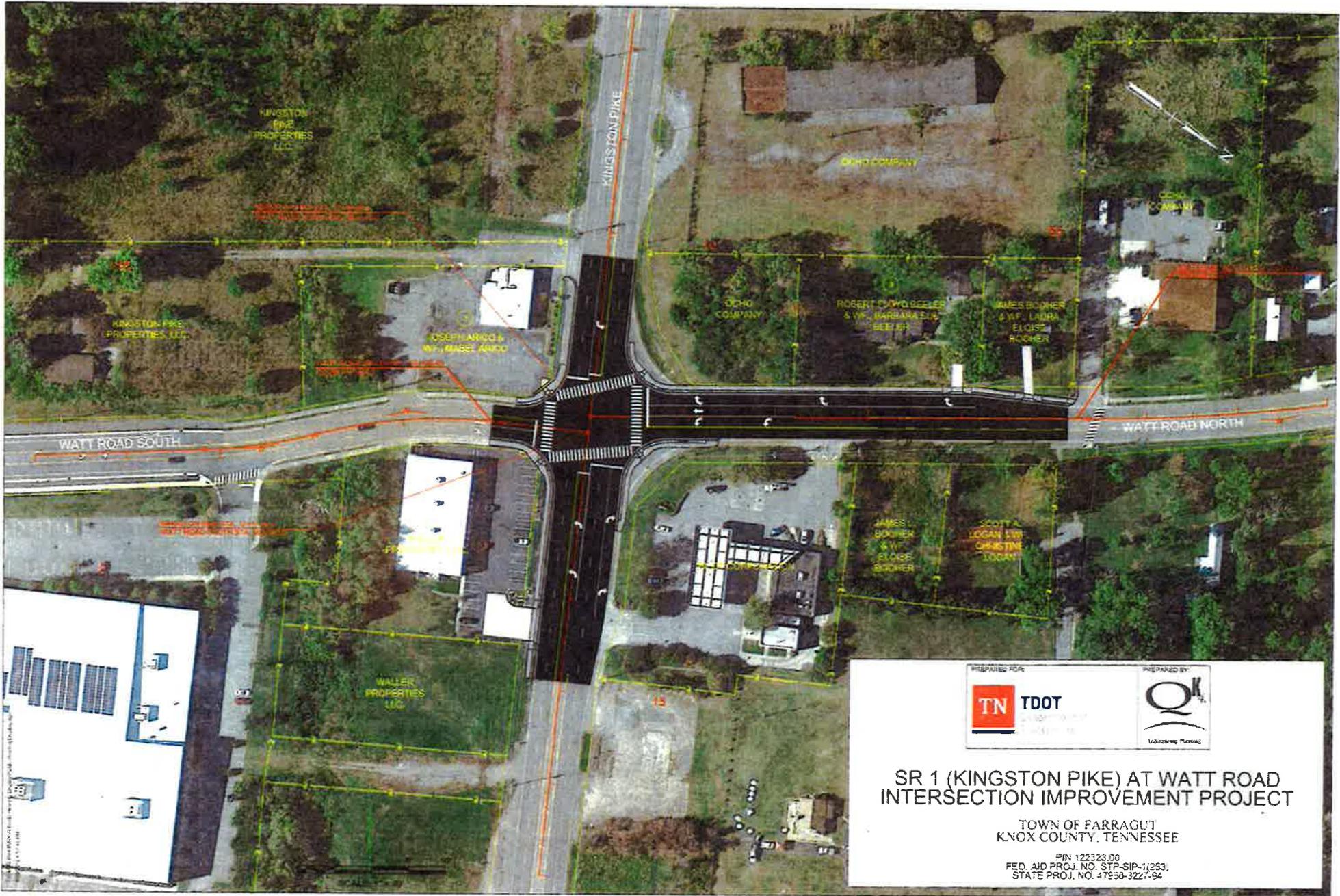
FIRST FLOOR LEVEL

REPORT TO FARRAGUT MUNICIPAL PLANNING COMMISSION**PREPARED BY: Darryl W. Smith, PE****SUBJECT: Discussion of Intersection Improvements – Watt Road at Kingston Pike**

INTRODUCTION: This item is to present planned improvements at the intersection of Watt Road and Kingston Pike for discussion, allowing input from FMPC and the public.

BACKGROUND: The extension of Watt Road to Old Stage Road (completed in 2014) brought about an unusual dilemma: Lane assignment on Watt Road has always been proper for the “T” intersection (constructed ca. 1981), but adding a fourth leg (south Watt Road) to the intersection increases the thru movements on Watt. Prior to the Watt Road extension, the northbound and southbound thru movements were correctly required to enter the center lane of Watt Road, and proceed through the signal across Kingston Pike. With Watt Road extended to Old Stage (increasing both thru movements), it is unusual (and unexpected for the unfamiliar motorist) to enter what is generally considered the “left-turn lane” to make the thru movement. For this reason, lane re-assignment is in order. Additionally, a southbound right-turn lane will be added to separate right turns from the thru movement, and radius returns will be tightened to improve new pedestrian crossings (see attached photo). Signal improvements will be required as well, as the islands on the north side of the intersection will be removed and mast arm poles will be replaced. Sidewalk will be extended, which will connect pedestrian facilities south of Kingston Pike along Watt Road, and complete the connection to Mayor Bob Leonard Park.

Staff requested these improvements be added to the original Watt Road extension project back in 2013, but the request was denied, as the improvements were not contiguous with the Watt Road/Old Stage project. While the Town originally intended to construct these improvements on our own (and has budgeted within our own CIP), staff requested Spot Safety Funding through TDOT’s Traffic Office last year, and TDOT has agreed to fund roughly half the construction cost, as well as provide construction supervision. Construction is currently anticipated to begin in 2017.



PREPARED FOR



TDOT

TRANSPORTATION

DEPARTMENT

PREPARED BY



LANDMARK PLANNING

SR 1 (KINGSTON PIKE) AT WATT ROAD INTERSECTION IMPROVEMENT PROJECT

TOWN OF FARRAGUT
KNOX COUNTY, TENNESSEE

PIN 122323.00
FED. AID PROJ. NO. STP-SIP-1(253)
STATE PROJ. NO. 47958-3227-94