



**AGENDA  
FARRAGUT MUNICIPAL PLANNING COMMISSION**

**May 19, 2016  
7:00 p.m. Farragut Town Hall**

For questions please either e-mail Mark Shipley at [mshipley@townoffarragut.org](mailto:mshipley@townoffarragut.org) or Ashley Miller at [amiller@townoffarragut.org](mailto:amiller@townoffarragut.org) or call them at 865-966-7057.

- 1. Citizen Forum**
- 2. Approval of agenda**
- 3. Approval of minutes – April 21, 2016**
- 4. Discussion and public hearing on a site plan for Farragut Town Center, Parcel 137.09, Tax Map 142, Zoned C-1/MUTC, located at 103 S. Campbell Station Road, 2.21 Acres (Paul Schaffer/Mike Channel and First Farragut Development, Applicants)**
- 5. Discussion and public hearing on a request to rezone Parcel 59.07, Tax Map 152, located at 11739 Turkey Creek Road, approximately 16.38 Acres, from R-1 to R-3 (Site Incorporated, Applicant)**
- 6. Discussion on a request to rezone a portion of Parcel 69, Tax Map 142, north of the Farragut Church of Christ, 22.13 Acres, from R-2 to S-1 (Goodworks Unlimited, LLC, Applicant)**
- 7. Discussion and public hearing on a concept plan for the Villages of Farragut, located off Smith Road, a portion of Parcel 69, Tax Map 142, Zoned R-2, 22.13 Acres (Goodworks Unlimited, LLC, Applicant)**
- 8. Discussion on a request to amend the front yard setback provisions in commercial zoning districts (MBH, Inc., Applicant)**
- 9. Discussion on text amendments to the Farragut Zoning Ordinance, Chapter 3., Section XII., General Commercial District (C-1), to allow for craft brewery uses (Steve Dedman, Applicant)**
- 10. Public hearing on proposed locations for new utilities**

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**11408 MUNICIPAL CENTER DRIVE | FARRAGUT, TN 37934 | 865.966.7057**

**WWW.TOWNOFFARRAGUT.ORG**

*It is the policy of the Town of Farragut not to discriminate on the basis of race, color, national origin, age, sex, or disability pursuant to Title VI of the Civil Rights Act of 1964, Public Law 93-112 and 101-336 in its hiring, employment practices and programs. To request accommodations due to disabilities, please call 865-966-7057 in advance of the meeting.*



**MINUTES  
FARRAGUT MUNICIPAL PLANNING COMMISSION**

**April 21, 2016**

**MEMBERS PRESENT**

Rita Holladay, Chairman  
Ed St. Clair, Vice-Chairman  
Ed Whiting, Secretary  
Ralph McGill, Mayor  
Louise Povlin, Alderman  
Betty Dick  
Noah Myers  
Annette Brun  
Rose Ann Kile

**MEMBERS ABSENT**

**Staff Representatives:** Ashley Miller, Assistant Community Development Director  
Gary Palmer, Assistant Town Administrator  
Mark Shipley, Community Development Director

Chairman Holladay called the meeting to order at 7 p.m.

**CITIZEN FORUM**

**APPROVAL OF AGENDA**

*Commissioner St. Clair moved to approve the April 21, 2016 agenda. Motion was seconded by Commissioner Dick and the motion passed unanimously.*

**APPROVAL OF MINUTES**

*On the March 17, 2016 minutes, Commissioner Dick noted that she voted nay on the Comprehensive Land Use Plan amendment and the rezoning request associated with Herron Road. Commissioner St. Clair made a motion to approve the minutes with the amendment noted by Commissioner Dick. Motion was seconded by Commissioner Brun and motion passed 7-0-2 with Commissioner Myers and Alderman Polvin abstaining because they were absent.*

**AGENDA ITEMS**

**DISCUSSION AND PUBLIC HEARING ON A PLAT OF CORRECTION FOR PHASE II OF THE COTTAGES AT PRYSE FARM SUBDIVISION, PARCELS 1-24, GROUP D, TAX MAP 162B AND PARCEL 8.01, TAX MAP 162, 4.78 ACRES, 24 LOTS, ZONED R-1/OSMR (Wilcox Development, LLC, Applicant)**

Staff recommended approval.

*A motion was made by Commissioner Myers to approve the plat of correction for Phase II of the Cottages at Pryse Farm Subdivision. Motion was seconded by Alderman Povlin and the motion passed unanimously.*

**DISCUSSION AND PUBLIC HEARING ON A SITE PLAN FOR O'REILLY AUTO PARTS, PARCEL 36, GROUP B, TAX MAP 143G, ZONED C-1, LOCATED AT 10870 KINGSTON PIKE, 1.04 ACRES (Thornton Drive, LLC, Applicant)**

Staff recommended approval subject to the following comments being satisfactorily addressed as verified in writing by the Town staff:

- 1) The proposed right out access onto Kingston Pike will require a variance from Section 16-406 of the Driveways and Other Accessways Ordinance. Specifically, the access does not meet the distance requirement from the nearest intersection and the distance between driveways;
- 2) Please omit the sidewalk section on Sheet C2.0 east of the access onto Kingston Pike;
- 3) A plat for access, pedestrian, and other easements and to provide the required right of way will be required prior to the issuance of a Certificate of Occupancy;
- 4) An as-built of the project in a JPEG format will be required prior to the issuance of a Certificate of Occupancy;
- 5) Consistent with the ADS, please modify the red to an earth tone or muted color;
- 6) Consistent with the ADS, please provide for an iconic design feature;
- 7) Please label or include in a legend the surface treatment that is shown under the parking spaces and the treatment that is shown on the remainder of the improved surfaces – these appear as different designations on the plan. Are the areas where the parking is shown permeable pavers and the other areas heavy duty pavement?
- 8) Please label the HVAC units on the appropriate sheets and include a note on those sheets which states that all HVAC units will be screened by the building they are serving so that the HVAC units are not visible from adjacent properties or rights of ways;
- 9) Please remove the “Not for Construction: For permitting and city review purposes only” statement;
- 10) Please remove all non-regulatory signage from the site plan sheets;
- 11) Please express the light output in lumens rather than wattage;
- 12) A landscape plan must be approved by the VRRB prior to the issuance of a grading permit;
- 13) Please submit LOC for Erosion Control for \$6,000;
- 14) Please submit Drainage Fee of \$514;

**FMPC Minutes**

**April 21, 2016**

**Page 3**

- 15) Please submit TDOT driveway permit. Staff will prepare approval letter from Town for submittal to TDOT; and
- 16) Please submit NOC.

*Commissioner Myers made a motion to approve the site plan subject to the items noted by staff and coordination between staff and the applicant to achieve a look closer to the Grove City rendering that was included in the packets and in the Power Point presentation. Motion was seconded by Commissioner Brun and the motion passed unanimously.*

*Commissioner St. Clair made a motion to approve the 200' variance from the Driveways and Other Accessways Ordinance. Motion was seconded by Alderman Povlin and the motion passed unanimously.*

**DISCUSSION ON A REQUEST TO REZONE PARCEL 59.07, TAX MAP 152, LOCATED AT 11739 TURKEY CREEK ROAD, APPROXIMATELY 16.38 ACRES, FROM R-1 TO R-3 (Site Incorporated, Applicant)**

For discussion purposes only.

**DISCUSSION ON A REQUEST TO AMEND THE FRONT YARD SETBACK PROVISIONS IN COMMERCIAL ZONING DISTRICTS (MBH, Inc., Applicant)**

For discussion purposes only.

**DISCUSSION OF CREATING A MIXED USE/NEIGHBORHOOD COMMERCIAL DISTRICT**

For discussion purposes only.

**DISCUSSION AND PUBLIC HEARING ON THE FY 2017 CAPITAL INVESTMENT PLAN**

Staff recommended approval.

*Commission Whiting made the motion to approve. Motion was seconded by Commissioner St. Clair and the motion passed unanimously.*

**PUBLIC HEARING ON PROPOSED LOCATIONS FOR NEW UTILITIES**

None at this time

**ADJOURNMENT**

The meeting adjourned at 9:28 p.m.

MEETING DATE: May 19, 2016

## REPORT TO THE FARRAGUT MUNICIPAL PLANNING COMMISSION

**PREPARED BY:** Ashley Miller, Assistant Community Development Director

**SUBJECT:** Discussion and public hearing on a site plan for Farragut Town Center, Parcel 137.09, Tax Map 142, Zoned C-1/MUTC, located at 103 S. Campbell Station Road, 2.21 Acres (Paul Schaffer/Mike Channel and First Farragut Development, Applicants)

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**INTRODUCTION AND BACKGROUND:** As you will recall, in early 2015 a number of amendments were passed that involved the area that was identified in the Comprehensive Land Use Plan (CLUP) as a preferred location for a Mixed Use Town Center (MUTC). One of the parcels within this area is the former Silver Spoon lot at the southwest intersection of Kingston Pike and S. Campbell Station Road.

The site plan before you involves the demolition of the existing building and pavement, and a new development that would address the new provisions associated with the MUTC. This development would have a one lane drive thru on the north end of the site and a number of outdoor seating areas with access available from both the east and west frontages. As shown on the site plan, the buildings are predominantly face brick and are situated against S. Campbell Station Road. This provides for a more traditional downtown appearance and feel.

The site design includes a bioswale and decorative outdoor site lighting. The applicant is pursuing a text amendment related to signage. This will be reviewed by the VRRB at their meeting on May 24.

**RECOMMENDATION:** Included in the packet is a copy of the revised site plan and the staffs' comments on the original site plan that was submitted. The staff will make a recommendation at the meeting based on whether the original comments have been addressed.



LIVE CLOSER • GO FURTHER  
**farragut**

April 28, 2016

Mr. Paul Schaffer/Mike Channell  
First Farragut Development  
9231 Middlebrook Pike  
Knoxville, TN 37931  
[prschaffer@aol.com](mailto:prschaffer@aol.com)

**SUBJECT: STAFF COMMENTS ON THE SITE PLAN FOR THE FARRAGUT TOWN CENTER, 103 S. CAMPBELL STATION ROAD**

Dear Paul:

Thank you for your site plan submittal for the redevelopment of the former Silver Spoon property at 103 S. Campbell Station Road. The Town staff has reviewed the initial site plan and would ask that you please address the following items and submit four (4) full size copies and one (1) 11" x 17" reduced set to the Farragut Town Hall by **Monday, May 9**. Also, upon resubmittal please include a letter which addresses these comments and that indicates where the information can be found on the plans.

**This item will be discussed at the Staff/Developer Meeting at the Farragut Town Hall on Tuesday, May 3, at 9:00 a.m.** The purpose of this meeting is to discuss questions you may have on staff comments. Modifications to the plans are not due until Monday, May 9.

Fire Division: (Contact Dan Johnson at [dan.johnson@townoffarragut.org](mailto:dan.johnson@townoffarragut.org))

- 1) Please complete items 84, 88-91 and 93-96 of the site plan application;
- 2) Please provide the construction type on drawings;
- 3) Please provide location of FDC for fire sprinkler system;
- 4) Please provide required fire hydrant flow data;
- 5) Please provide location and flow data for closest fire hydrant to proposed FDC location;
- 6) Please provide required fire flow data for each building;

Planning Division: (Contact Mark Shipley at [mark.shipley@townoffarragut.org](mailto:mark.shipley@townoffarragut.org)) or Ashley Miller at [Ashley.miller@townoffarragut.org](mailto:Ashley.miller@townoffarragut.org))

- 7) The applicant needs to please sign the site plan application (this can be completed at the staff/developer meeting);

- 8) Please spell out the word "Station" on the plan sheets in relation to S. Campbell Station Road;
- 9) Please note the spelling of Cannon & Cannon;
- 10) On the final set of plans the words "Not for Construction" must be removed and all sheets signed and sealed. These will become your site plan construction documents;
- 11) Please ensure that all buildings have at least the appearance of being 2-story as viewed from all elevations. The corner "coffee shop" building does not appear as 2-story and will need to be modified accordingly;
- 12) In order to address potential pedestrian/vehicular conflicts at the drive thru exit, please move the sidewalk from north side of the north tier of parking and place it within the next tier of parking to the south and include a cross walk to line up with the sidewalk that leads to the outdoor seating area just south of the coffee shop building;
- 13) In order to create smaller pods of parking space aisles you may consider adding an island to the western tier of parking spaces. This could also potentially be addressed with additional landscaping;
- 14) Please provide a detail of the garbage dumpster enclosure and gates. Is one garbage dumpster sufficient?;
- 15) The buildings must be at least 10 feet from the front property lines. There are a few locations where there appear to be slight encroachments that will need to be corrected;
- 16) Please provide the 3 foot grass strip required for the sidewalk along the joint access easement;
- 17) To enhance engagement with S. Campbell Station Road is there an opportunity to connect the existing public sidewalk with the southernmost building?
- 18) In the parking summary, please include the bicycle parking requirements and what is being provided;
- 19) On Sheet C1.01, please show the proposed location for bicycle parking;
- 20) The retaining wall does not meet required setbacks and creates a barrier to engagement between the buildings and S. Campbell Station Road;
- 21) Please include a note on the plans which indicates that any antennas, HVAC units, etc., shall be screened with the building(s) they are serving so they are not visible from adjacent properties or rights of ways;
- 22) Please remove reference to signage at this point. These will be addressed with the sign permit reviews;
- 23) Are there measures that can be taken to either relocate or soften the appearance of the proposed transformer along S. Campbell Station Road;
- 24) Please include a fire lane and indicate where and how truck deliveries will occur;
- 25) Please include a cross section of the pole lights showing overall height from finished grade to the tallest portion of the light;
- 26) Please list the number of fixtures for each fixture in the fixture schedule table;
- 27) Please express the building mounted lighting in lumens rather than wattage. No individual fixture can exceed 950 lumens;

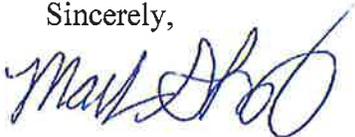
- 28) Please revise the lighting plan to ensure that the isofootcandles do not exceed 3.0 beyond the property lines, one reading is shown at 3.4 beyond the property line at the corner of S. Campbell Station Road and the access easement intersection;
- 29) Please include a photograph or diagram showing the building mounted lights in relation to their appearance on the building. Any gooseneck or other external illumination for building mounted signage will be reviewed as part of the sign permit application process;
- 30) On the building elevations please add a note which specifies that at least 75% of the building materials (excluding doors and windows) to be used on all building elevations is face brick;
- 31) The landscape plan will need to be approved by the VRRB and, prior to the issuance of a Certificate of Occupancy, a landscape maintenance letter of credit provided;
- 32) Prior to the issuance of a Certificate of Occupancy a digital as-built will be required in a JPEG format;

Engineering Division: (Contact Darryl Smith at [Darryl.smith@townoffarragut.org](mailto:Darryl.smith@townoffarragut.org))

- 33) Please include Utilities Sheet (C5.01);
- 34) Please submit irrevocable letter of credit for erosion control for \$11,000; and
- 35) Please submit NOC.

In addition to the e-mail addresses provided above you may also call the designated staff person(s) at 865-966-7057 if you have any questions on the above items. Unless specified otherwise, please include all requested information on the plans. Thank you for your assistance.

Sincerely,



Mark Shipley, AICP  
Community Development Director



Darryl Smith, PE  
Town Engineer

May 9, 2016

RECEIVED

MAY 09 2016

TOWN OF FARRAGUT

Mark Shipley, AICP  
Community Development Director  
Town of Farragut  
11408 Municipal Center Drive  
Farragut, TN 37934

RE: Staff Comments on the Site Plan for the Farragut Town Center, 103 S. Campbell  
Station Road  
BMa Project Number 160900

Dear Mark:

This letter is a response to the list of site comments provided on April 28<sup>th</sup> and discussed in our project review meeting on May 3<sup>rd</sup>. It accompanies four (4) full size copies of the revised plans and one (1) 11" x 17" reduced set. Please note this development is now called Farragut Gateway.

Fire Division:

- 1) Completed portion of site plan application is attached.
- 2) The building construction type (Type II-B) is identified on the set's cover page.
- 3) The building will not be sprinklered.
- 4) Fire hydrant flow data is attached.
- 5) The building will not be sprinklered.
- 6) Fire flow data is attached.

Planning Division:

- 7) The site plan application was signed and returned at the staff/developer meeting.
- 8) Noted and corrected on all sheets.
- 9) Noted and corrected on all sheets.
- 10) "Not for Construction" has been replaced with a signed stamp on all sheets.
- 11) The corner coffee shop was modified to incorporate a 2-story appearance. Colored elevations can be found on sheet A301.
- 12) A new sidewalk has been incorporated into the tier of parking, as recommended (C101, L100, AS100). Additionally, new landscaping has been incorporated in the north tier of parking to help screen the drive through lane, seen on L100.
- 13) The existing cluster of mature white pines are to remain and new evergreen trees have been added to help screen these parking spaces.
- 14) Garbage dumpster enclosure details have been provided on sheet A101. The enclosure is designed for three dumpsters.
- 15) Building setback issues have been resolved. All buildings are at least 10' away from the property line (C101).
- 16) It was confirmed by Farragut after the staff/developer meeting that the 3 foot grass strip is not required at the joint access easement.

- 17) New grading has been designed and the retaining wall removed at the S Campbell Station elevation in order to provide maximum engagement in response to existing grading challenges (C2.01.)
- 18) Provided on sheet C1.01.
- 19) Shown and noted on sheet C1.01.
- 20) The retaining wall has been removed and replaced with a new grading design (C2.01).
- 21) This has been noted on sheet A101 (General Note #3.)
- 22) All references to signage have been removed.
- 23) Additional landscaping has been provided to help soften the appearance of the proposed transformer along S Campbell Station Rd (L101).
- 24) A fire lane has been indicated on sheet C2.01, adjacent the bioswale.
- 25) Provided on sheet ES101.
- 26) Provided on sheet ES101.
- 27) Provided on sheet ES101.
- 28) Revised on sheet ES102.
- 29) Fixture "SC" is shown on sheet ES102 and incorporated into the architectural elevations on A301.
- 30) Noted on Sheet A301 (General Note #10.)
- 31) Accompanying this submittal is a new, separate landscape plan submittal/application for review.
- 32) NA

Engineering Division:

- 33) Utilities sheet C5.01 is included.
- 34) An \$11,000 irrevocable letter of credit for erosion control is attached.
- 35) Civil engineering contact is Jeff Beckett of Cannon & Cannon; information noted on drawings.

Thank you for your assistance during this process, and please let us know if there is any additional information that would be helpful for your reference.

Sincerely,



Todd Sparks, Assoc. AIA  
BarberMcMurry architects LLC

TOWN OF FARRAGUT GRID  
 SCALE: 1" = 20'  
 COORDINATES HAVE BEEN DATUM ADJUSTED BY A FACTOR OF 1.00009106418

**BENCHMARKS**  
 CONTROL PT# 1  
 568523.73  
 2513600.75  
 CONTROL PT# 2  
 568356.65  
 2513315.16  
 CONTROL PT# 3  
 568146.73  
 2513433.58  
 CONTROL PT# 4  
 568311.59  
 2513699.59  
 CONTROL PT# 7  
 568207.56  
 2513531.72

**bma**  
**BARBER McMURRY**  
 architects since 1915

505 Market St Suite 300 Knoxville, TN 37902  
 t 865.934.1915 f 865.546.0242  
 bma1915.com

PROJECT NUMBER  
**160900**  
 PROJECT NAME  
**FARRAGUT GATEWAY**  
 DEVELOPER  
**FIRST FARRAGUT DEVELOPMENT, LLC**  
 PROJECT ADDRESS  
**103 S CAMPBELL STATION RD KNOXVILLE, TN 37934**

CONSULTANTS  
**CANNON & CANNON INC**  
 CONSULTING ENGINEERS  
 FIELD SURVEYORS  
 1008 Kingston Pike  
 Knoxville, TN 37903  
 865.670.2655

PARTNER-IN-CHARGE RJB  
 PROJECT MANAGER RJB  
 DRAWN BY CIO  
 REVIEWED BY RJB  
 ISSUE DATE 05.09.2016  
 REVISIONS

**C0.01**  
 EXISTING CONDITIONS  
 2 OF 17

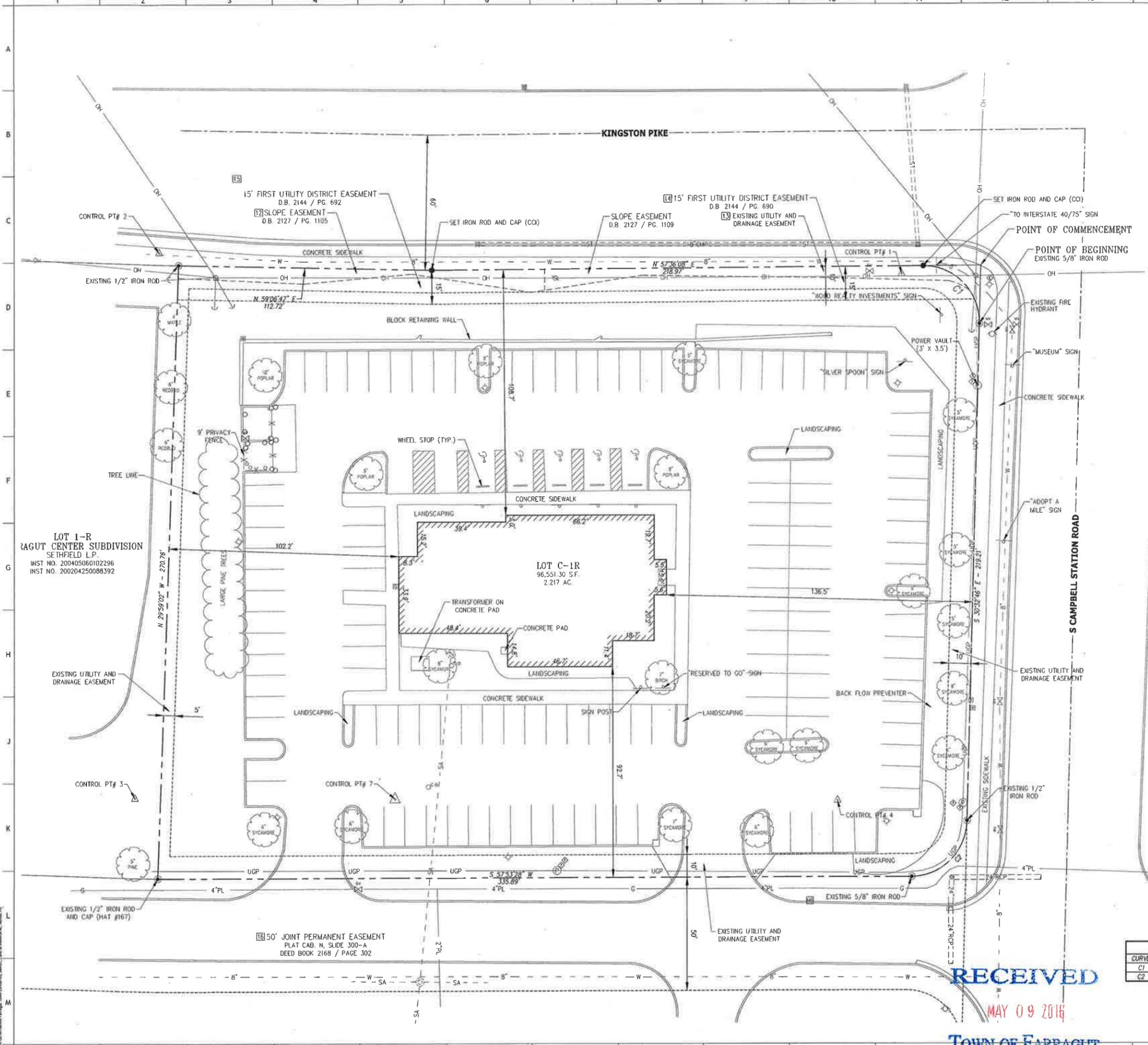
**NOTES**  
 1. OWNERSHIP AND REFERENCE:  
 FIRST FARRAGUT DEVELOPMENT LLC  
 9231 MIDDLEBROOK PIKE  
 KNOXVILLE, TN 37931  
 CLT MAP 142, PARCEL 137.09  
 DEED REFERENCE: INST. NO. 200704300088762  
 PLAT REFERENCE: CABINET N, SLIDE 300-A  
 2. TOTAL AREA: 96,551.30 S.F. / 2.217 AC.  
 3. DATE OF FIELD SURVEY: NOVEMBER 4, 2008  
 4. SUBJECT PROPERTY LIES OUTSIDE THE 100 YEAR FLOODWAY PER FIRM MAPPING OF KNOX COUNTY, TENNESSEE. COMMUNITY PANEL NO: 47083C0243F, DATED 5/2/2007.  
 5. 5' UTILITY AND DRAINAGE EASEMENT EACH SIDE OF ALL LOT LINES, 10' INSIDE EXTERIOR BOUNDARY LINES AND ROAD RIGHTS-OF-WAY.  
 6. PROPERTY IS ZONED C-1  
 7. ABOVE GROUND AND UNDERGROUND UTILITIES AS SHOWN WERE LOCATED FROM VISIBLE FIELD EVIDENCE, UTILITY MARKINGS AND/OR DRAWINGS BY OTHERS. VERIFICATION AS TO EXISTENCE, LOCATION, SIZE, MATERIAL AND DEPTH SHOULD BE PURSUED PRIOR TO ANY DECISIONS BEING MADE RELATIVE TO UTILITIES. TO AVOID CONFLICTS AND/OR HAZARDS, NOTIFY TENNESSEE ONE CALL AT 1-800-351-1111 PRIOR TO ANY EXCAVATION OR GRADING ACTIVITIES.  
 8. PARKING STALLS: 131 REGULAR AND 5 HANDICAP.

**LEGEND**

---	ST---	STORM SEWER LINE
---	SA---	SANITARY SEWER LINE
---	UCP---	UNDERGROUND POWER
---	W---	WATER LINE
X	X	FENCE LINE
G	G	UNDERGROUND GAS LINE
●	●	SMALL ROUND DRAIN
■	■	CATCH BASIN
CMP	CMP	CORRUGATED METAL PIPE
RCP	RCP	REINFORCED CONCRETE PIPE
⊖	⊖	ANCHOR WIRE
⊕	⊕	POWER POLE
⊙	⊙	LIGHT POLE
⊗	⊗	WATER VALVE
⊘	⊘	FIRE HYDRANT
⊙	⊙	GAS METER
⊙	⊙	WATER METER
⊙	⊙	SIGN
⊙	⊙	SANITARY MANHOLE
⊙	⊙	POWER MANHOLE
⊙	⊙	EXISTING TREE

**CURVE TABLE**

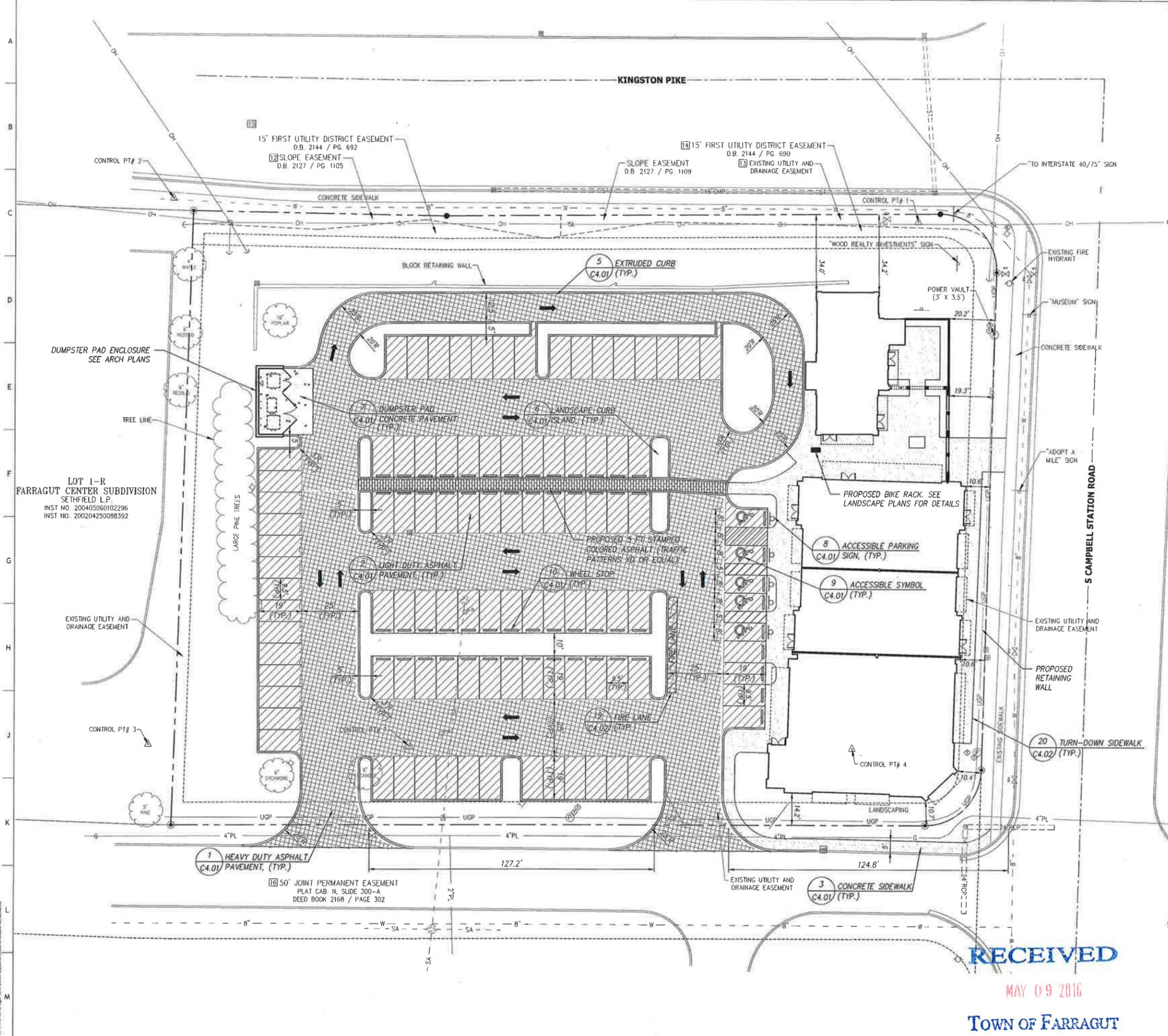
CURVE	DELTA ANGLE	RADIUS	TANGENT	LENGTH	CHORD
C1	91°42'48"	25.00'	25.76'	40.02'	S 76°19'43" E 35.88'
C2	88°22'43"	25.00'	24.30'	38.56'	S 132°10'07" W 34.85'



LOT 1-R  
 FARRAGUT CENTER SUBDIVISION  
 SE THFIELD L.P.  
 INST. NO. 200405060102296  
 INST. NO. 200204250088392

50' JOINT PERMANENT EASEMENT  
 PLAT CAB. N. SLIDE 300-A  
 DEED BOOK 2168 / PAGE 302

**RECEIVED**  
 MAY 09 2016  
 TOWN OF FARRAGUT



TOWN OF FARRAGUT GRID  
 SCALE: 1" = 20'  
 COORDINATES HAVE BEEN DATUM ADJUSTED BY A FACTOR OF 1.00009106418

**GENERAL NOTES:**

1. OWNERSHIP AND REFERENCE  
 FIRST FARRAGUT DEVELOPMENT LLC  
 9231 MIDDLEBROOK PIKE  
 KNOXVILLE, TN 37931
2. THE BOUNDARY AND PLANIMETRIC DATA SHOWN WAS PROVIDED BY CANNON AND CANNON, INC. DATED NOVEMBER 4, 2008. TOPOGRAPHIC INFORMATION PER DIGITIZED DRAWING PROVIDED BY OWNER.
3. A 5' UTILITY, DRAINAGE AND CONSTRUCTION EASEMENT ON EACH SIDE OF INTERIOR LOT LINES, A 10' UTILITY, DRAINAGE AND CONSTRUCTION EASEMENT ON INSIDE OF ROAD RIGHTS-OF-WAY AND EXTERIOR LOT LINES.
4. ZONING: C-1
5. TRAFFIC CONTROL DEVICES AND PAVEMENT MARKING SHALL CONFORM TO THE FEDERAL HIGHWAY ADMINISTRATION "MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES."
6. UNLESS NOTED OTHERWISE, DIMENSIONS ARE TAKEN FROM OUTSIDE FACE OF BUILDING AND/OR FACE OF CURB.

**PARKING SUMMARY:**

1. THE CALCULATIONS OF BUILDING SQUARE FOOTAGE AND PARKING SPACES ARE AS FOLLOWS:

BUILDING	SQUARE FOOTAGE	REQ'D STD. PARKING
RESTAURANT/ COFFEE SHOP	2,039 (INSIDE)	1 SPACE/100 SF = 21
	1020 (OUTSIDE)	1 SPACE/200 SF = 6
RESTAURANT	2,702 (INSIDE)	1 SPACE/100 SF = 27
	425 (OUTSIDE)	1 SPACE/200 SF = 3
RESTAURANT	2,556 (INSIDE)	1 SPACE/100 SF = 26
WALK IN CLINIC/ URGENT CARE	4,454	1 SPACE/250 SF = 18
		101

REQUIRED: 1 ACCESSIBLE SPACE/25 SPACES  
 TOTAL SPACES REQUIRED = 101 SPACES  
 TOTAL STANDARD SPACES PROVIDED = 97 SPACES  
 TOTAL ACCESSIBLE SPACES PROVIDED = 5 SPACES  
 TOTAL PROPOSED PARKING = 102 SPACES

**BICYCLE PARKING**  
 REQUIRED = 1 SPACE PER 5,000 SQUARE FEET OF GROSS FLOOR SPACE.  
 TOTAL GROSS FLOOR AREA = 12,600 SF  
 BICYCLE PARKING REQUIRED = 3  
 BICYCLE PARKING PROVIDED = 3

**LOT COVERAGE CALCULATIONS**

LOT C-1R	2.217 AC.
TOTAL PERVIOUS AREA	0.767 AC.
TOTAL IMPERVIOUS AREA	1.450 AC.
IMPERVIOUS LOT COVERAGE	65.4%

**LEGEND**

- PROPOSED HEAVY DUTY ASPHALT PAVEMENT
- CONCRETE PAVEMENT
- CONCRETE SIDEWALK
- PROPOSED LIGHT DUTY ASPHALT PAVEMENT
- EXIST. R.O.W.
- BUILDING SETBACK LINE
- EXIST. EASEMENT LINE
- DETAIL REFERENCE (DETAIL NO./SHEET NO.)
- NUMBER OF PARKING SPACES
- COORDINATE POINT
- HANDICAP PARKING
- PAVEMENT MARKING (ARROW)
- BUILDING ENTRANCE



505 Market St Suite 300 Knoxville, TN 37902  
 t 865.934.1915 f 865.546.0242  
 bma1915.com



PROJECT NUMBER  
 160900

PROJECT NAME  
 FARRAGUT GATEWAY

DEVELOPER  
 FIRST FARRAGUT DEVELOPMENT, LLC

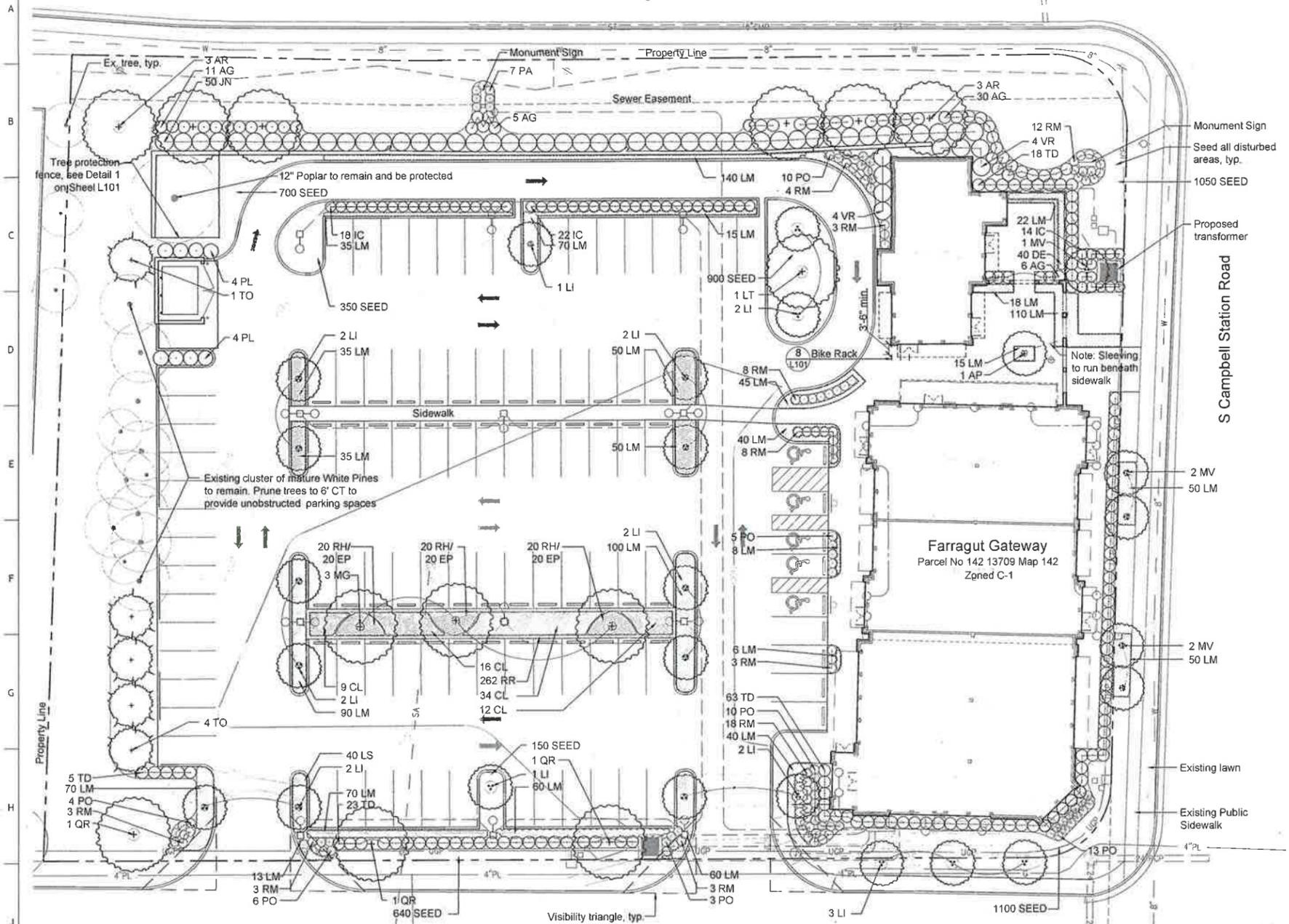
PROJECT ADDRESS  
 103 S CAMPBELL STATION RD  
 KNOXVILLE, TN 37934



PARTNER-IN-CHARGE RJB  
 PROJECT MANAGER RJB  
 DRAWN BY CIO  
 REVIEWED BY RJB  
 ISSUE DATE 05.09.2016  
 REVISIONS

**C1.01**  
 SITE LAYOUT & PAVING PLAN  
 4 OF 17

RECEIVED  
 MAY 09 2016  
 TOWN OF FARRAGUT



1 Landscape Plan  
Scale: 1" = 20'-0"

Plant Schedule

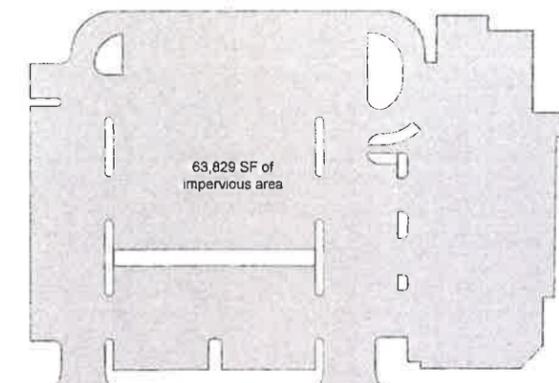
Key	Quantity	Botanical Name	Common Name	Size	Notes
<b>SHADE TREES</b>					
AR	6	Acer rubrum 'October Glory'	October Glory Red Maple	2" cal.	6' CT-central leader, open branching
LT	1	Liquidambar styraciflua	Tulip Poplar	2" cal.	6' CT-central leader, full, well branched
MG	3	Malus domestica 'Spartan'	Dwarf Redwood	12" ht.	Central leader, full & matched
QR	3	Quercus rubra	Red Oak	2" cal.	6' CT-central leader, full, well and low branched
<b>EVERGREEN TREES</b>					
TO	5	Thuja 'Green Giant'	Green Giant Arborvitae	10' ht. min.	IFTG, well branched
<b>ORNAMENTAL TREES</b>					
AP	1	Acer palmatum var. atropurpureum 'Bloodgood'	Bloodgood Japanese Maple	2" cal.	6' CT-central leader, open branching
LI	19	Laportea indica x laurifolia 'Natchez'	Natchez Crape Myrtle	8" ht. min.	Central leader, full & well branched
MR	5	Magnolia virginiana var. australis	Sweetbay Magnolia	8" ht. min.	MT, full & well branched
<b>SHRUBS</b>					
AG	52	Abelia x grandiflora	Glossy Abelia	3 gal.	4' o.c. full & dense, white flowers
EC	54	Ilex cornuta 'Candida'	Candida Holly	3 gal.	3.5' o.c. full & dense
PL	8	Prunus laurocerasus 'Scholaeensis'	Schola Laurel	30" P&B	5' o.c. full & dense
RM	65	Rosa 'Meibocoe'	Pink Drift Rose	3 gal.	3' o.c. full & dense, pink flowers
TD	113	Taxus x media 'Securiformis'	Securiformis Yew	3 gal.	4' o.c. full & dense
VR	8	Viburnum x ruscifolium 'Willowood'	Willowood Viburnum	18-24" B&B	5' o.c. full & dense

GROUNDCOVERS & PERENNIALS			
DE	40	Dryopteris erythrosora	Autumn Fern
EP	60	Echinacea purpurea	Purple Coneflower
JM	48	Jasminum nudiflorum	Winter Jasmine
LM	1,297	Liriodendron 'Big Blue'	Big Blue Liriodendron
RH	60	Rudbeckia hirta 'Goldstrum'	Goldstrum Black-eyed Susan
<b>ORNAMENTAL GRASSES</b>			
CL	71	Chamaeridium latifolium	River Oats
PA	7	Pennisetum alopecuroides 'Cassiani Choice'	Cassiani Choice Pennisetum
PO	51	Pennisetum orientale 'Karl's Rose'	Karl's Rose Pennisetum
<b>LAWN</b>			
SEED	4,860	Festuca arundinacea	Turf-type Tall Fescue
<b>HARDSCAPE</b>			
RR	282	River Rock	2"

\* Contractor to provide quantity for mulch.

Note: All abutting properties are zoned C-1

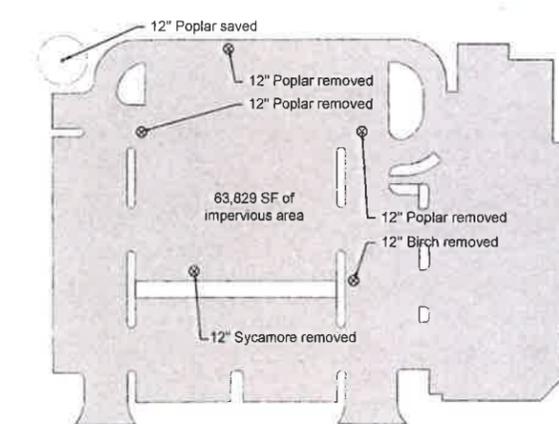
Note: This plan is consistent with the remaining plan sheets associated with this project.



Planting Requirement: One (1) shade tree shall be planted for every two thousand five hundred (2,500) square feet of proposed improvements factoring into the total lot coverage. At least twenty-five (25) percent of the total required number of shade trees shall be planted in the front yards.

Total Lot Coverage: 63,829 SF / 2,500 = 25 Trees      Trees Provided: 16 Canopy / 18 Ornamental

2 Lot Coverage Diagram  
Scale: 1" = 50'-0"



Tree Replacement Requirement: Where an existing healthy hardwood tree with a DBH of ten (10) inches or greater is removed, two (2) replacement trees shall be provided.

Total trees removed: 5 x 2 = 10 Trees

Tree Credit: An existing healthy tree to be saved and which has a DBH of ten (10) inches or greater and is located within an approved area of disturbance and is not located within a required buffer strip may be credited toward fulfilling a portion of the non-buffer strip landscape requirement.

Total trees saved: 1 hardwood x 4 = 4 Tree Credit

Total trees required: 10 removed - 4 tree credit = 6 Trees      Trees Provided: 3 Canopy / 6 Ornamental

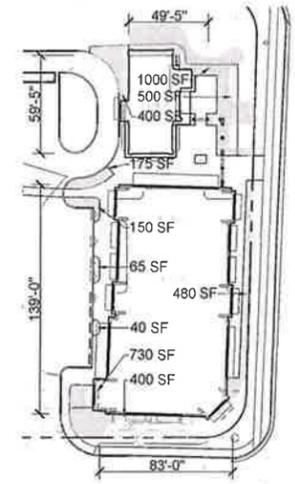
3 Tree Credit / Replacement Diagram  
Scale: 1" = 50'-0"

North Side:  
Required Landscape Area Calculation:  
49.5' x 2.5 = 123.75 SF  
Provided Landscape Area: 1000 SF

South Side:  
Required Landscape Area Calculation:  
83' x 2.5 = 207.5 SF  
Provided Landscape Area: 400 SF

West Side:  
Required Landscape Area Calculation:  
59.5' + 139' = 198.5' x 2.5 = 496.25 SF  
Provided Landscape Area: 1560 SF

East Side:  
Required Landscape Area Calculation:  
59.5' + 139' = 198.5' x 2.5 = 496.25 SF  
Provided Landscape Area: 980 SF



Planting Requirement: A landscaped area between all buildings and abutting parking lots and vehicular access ways is required. The minimum landscaped areas shall be determined by multiplying two and one-half (2 1/2) feet by the buildings length facing a parking lot or vehicular access way.

4 Landscaping Between Building and Parking Diagram  
Scale: 1" = 50'-0"



305 Market St Suite 300 Knoxville, TN 37902  
t 865.934.1915 f 865.546.0242  
bma1915.com

PROJECT NUMBER  
160900

PROJECT NAME  
FARRAGUT GATEWAY

OWNER  
FIRST FARRAGUT DEVELOPMENT, LLC

PROJECT ADDRESS  
103 S CAMPBELL STATION RD  
KNOXVILLE, TN 37934

CONSULTANTS  
hedstrom design landscape architecture  
info@hedstromdesign.com 110 West Magnolia Ave Knoxville, TN 37917  
www.hedstromdesign.com 865.329.0012 office



PARTNER-IN-CHARGE KLH  
PROJECT MANAGER TOS  
DRAWN BY ABS  
REVIEWED BY SHP  
ISSUE DATE 05.09.2016  
REVISIONS

L100  
LANDSCAPE DETAILS AND NOTES  
11 OF 17





1 OVERALL ELEVATION - EAST  
A301 0 2 5 10 20



2 OVERALL ELEVATION - WEST  
A301 0 2 5 10 20



3 BUILDING ELEVATION - NORTH  
A301 0 2 5 10 20

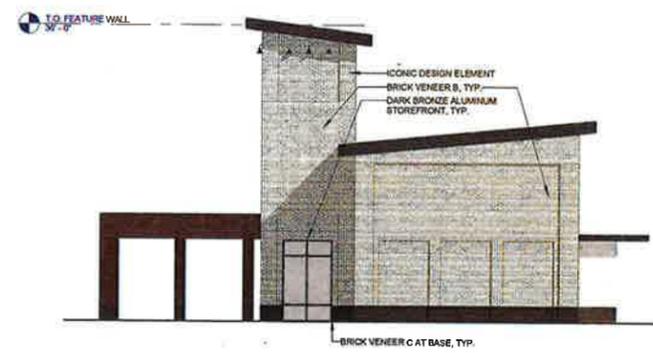


4 BUILDING ELEVATION - SOUTH  
A301 0 2 5 10 20

- GENERAL NOTES**
- COORDINATE WITH APPLICABLE DIMENSIONS AND DETAILS ON OTHER SHEETS.
  - NOTES AND DETAILS ARE TYPICALLY APPLICABLE TO SIMILAR ITEMS DRAWN ELSEWHERE ON THE SHEET.
  - DIMENSIONS ARE TO FACE OF MASONRY OR EDGE OF OPENING UNLESS OTHERWISE NOTED.
  - LOCATE VERTICAL VENEER MOVEMENT JOINTS (VMJ) AT MAX 25 FEET ON CENTER WHERE NOT SHOWN OTHERWISE. COORDINATE LOCATIONS WITH THE ARCHITECT.
  - SHelf ANGLES TYPICALLY FUNCTION AS HORIZONTAL VENEER MOVEMENT JOINTS.
  - DIAGONAL HATCHING INDICATES SPANDREL GLASS TYPICALLY.
  - PROVIDE MASONRY VENEER MOVEMENT JOINTS (VMJ) AT INSIDE CORNERS AND INTERSECTIONS WITH OTHER MATERIALS TYP.
  - AT LEAST 75% OF THE BUILDING MATERIALS (EXCLUDING DOORS AND WINDOWS) TO BE USED ON ALL BUILDING ELEVATIONS IS FACE BRICK.



5 BUILDING ELEVATION - EAST  
A301 0 2 5 10 20



6 BUILDING ELEVATION - NORTH  
A301 0 2 5 10 20



7 BUILDING ELEVATION - SOUTH  
A301 0 2 5 10 20

**bma**  
BARBERMcMURRY  
architects since 1915

505 Market St Suite 300 Knoxville, TN 37902  
t 865.934.1915 f 865.546.0242  
bma1915.com



PROJECT NUMBER  
**160900**

PROJECT NAME  
**FARRAGUT GATEWAY**

OWNER  
**FIRST FARRAGUT DEVELOPMENT, LLC**

PROJECT ADDRESS  
**103 S CAMPBELL STATION RD KNOXVILLE, TN 37934**

**EXTERIOR FINISH LEGEND**

KEY	MATERIAL
BRICK VENEER A	RED BRICK
BRICK VENEER B	OFF-WHITE BRICK
BRICK VENEER C	DARK BROWN BRICK
STOREFRONT	DARK BRONZE

**RECEIVED**  
MAY 09 2016  
**TOWN OF FARRAGUT**

PARTNER-IN-CHARGE	KLH
PROJECT MANAGER	TOS
DRAWN BY	TOS
REVIEWED BY	KLH
ISSUE DATE	05.09.2016
REVISIONS	

**A301**  
BUILDING ELEVATIONS  
15 OF 17

MEETING DATE: May 19, 2016

## REPORT TO THE FARRAGUT MUNICIPAL PLANNING COMMISSION

**PREPARED BY:** Ashley Miller, Assistant Community Development Director

**SUBJECT:** Discussion and public hearing on a request to rezone Parcel 59.07, Tax Map 152, located at 11739 Turkey Creek Road, approximately 16.38 Acres, from R-1 to R-3 (Site Incorporated, Applicant)

---

**INTRODUCTION AND BACKGROUND:** As discussed at the previous planning commission meeting, the subject property is situated to the west of the Briarstone Subdivision and across from Anchor Park on the north side of Turkey Creek Road. Currently, the property has one dwelling unit and is zoned Rural Residential (R-1). The existing house is accessed via a long gravel driveway which also provides access to the Scarbrough tract to the west. Across the front portion of the property there is a 100 foot overhead utility line easement.

**DISCUSSION:** The applicant is requesting to rezone the property to R-3, Small Lot Single-Family Residential. The R-3 District provides for a minimum lot size of 8,500 square feet. It also requires a planted buffer strip around the side and rear periphery of the tract. In terms of the requested rezoning and adherence to the Comprehensive Land Use Plan (CLUP), the property in question is shown on the future land use map as Medium Density Residential (6-12 dwelling units per acre). Also included in the Medium Density Residential area on the future land use map is the Briarstone Subdivision to the east and north. Though, Briarstone is zoned R-1/OSMR, the lot size and building form in Briarstone is very similar to an R-3 development. The R-1/OSMR does not have a minimum lot size. When the property where Briarstone is situated was requested for a rezoning, the staff and commission felt that the smaller lot layout typical for an R-1/OSMR was not inconsistent with the land use description for a Medium Density Residential land use. The staff would also apply this interpretation to the R-3 Zoning District.

Though not necessarily applicable to the rezoning, should the property be rezoned and a subdivision plat submitted, the staff will strongly recommend a connection to the Briarstone Subdivision which could be initiated with the development of the Scarbrough property. This has been discussed with the applicant and they are aware of the need to provide connectivity from both a land use efficiency perspective and to fulfill the requirement for a secondary means of access for emergency service purposes.

**RECOMMENDATION:** Included in your packet is a copy of Resolution PC-16-07 which recommends approval of Ordinance 16-10. The staff recommends approval of Resolution PC-16-07.

**RESOLUTION PC-16-07**

**FARRAGUT MUNICIPAL PLANNING COMMISSION**

**A RESOLUTION TO APPROVE AN AMENDMENT TO THE FARRAGUT ZONING MAP, ORDINANCE 86-16, TO RECOMMEND THE APPROVAL OF THE REZONING OF PARCEL 59.07, TAX MAP 152, LOCATED AT 11739 TURKEY CREEK ROAD, APPROXIMATELY 16.38 ACRES, FROM R-1 (RURAL SINGLE-FAMILY RESIDENTIAL) TO R-3 (SMALL LOT SINGLE-FAMILY RESIDENTIAL)**

**WHEREAS**, the Tennessee Code Annotated, Section 13-4-201et seq, provides that the Municipal Planning Commission shall make and adopt a general plan for the physical development of the municipality; and

**WHEREAS**, the Farragut Municipal Planning Commission has adopted various elements of a zoning plan as an element of the general plan for physical development; and

**WHEREAS**, a public hearing was held on this request on May 19, 2016;

**NOW, THEREFORE, BE IT RESOLVED** that the Farragut Municipal Planning Commission hereby recommends approval to the Farragut Board of Mayor and Aldermen of an ordinance, amending Ordinance 86-16, of the Farragut Zoning Ordinance, by adding Ordinance 16-10.

ADOPTED this 19<sup>th</sup> day of May, 2016.

---

Rita Holladay, Chairman

---

Edwin K. Whiting, Secretary

**ORDINANCE:** 16-10  
**PREPARED BY:** Shipley  
**REQUESTED BY:** Site Incorporated  
**CERTIFIED BY FMPC:** May 19, 2016  
**PUBLIC HEARING:** \_\_\_\_\_  
**PUBLISHED IN:** \_\_\_\_\_  
**DATE:** \_\_\_\_\_  
**1ST READING:** \_\_\_\_\_  
**2ND READING:** \_\_\_\_\_  
**PUBLISHED IN:** \_\_\_\_\_  
**DATE:** \_\_\_\_\_

**AN ORDINANCE AMENDING THE ZONING ORDINANCE OF THE TOWN OF FARRAGUT, TENNESSEE, ORDINANCE 86-16, AS AMENDED, PURSUANT TO SECTION 13-4-201, TENNESSEE CODE ANNOTATED.**

**BE IT ORDAINED** by the Board of Mayor and Aldermen of the Town of Farragut, Tennessee, that the Farragut Zoning Ordinance, Ordinance 86-16, as amended, is hereby amended as follows:

**SECTION 1.**

The Farragut Zoning Ordinance, Ordinance 86-16, as amended, is hereby amended by rezoning

Parcel 59.07, Tax Map 152, located at 11739 Turkey Creek Road, approximately 16.38 acres, from R-1 (Rural Single-Family Residential) to R-3 (Small Lot Single-Family Residential) (Exhibits A and B).

**SECTION 2.**

This ordinance shall take effect from and after its final passage and publication, the public welfare requiring it.

\_\_\_\_\_  
Dr. Ralph McGill, Mayor

\_\_\_\_\_  
Allison Myers, Town Recorder

Certified to the Farragut Board of Mayor and Aldermen this \_\_\_\_ day of \_\_\_\_\_, 2016, with approval recommended.

---

Rita Holladay, Chairman

---

Edwin K. Whiting, Secretary

**FARRAGUT MUNICIPAL PLANNING COMMISSION**



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**farragut**

**Ordinance 16-10  
Exhibit A**

Rezone  
Parcel 59.07, Tax Map 152

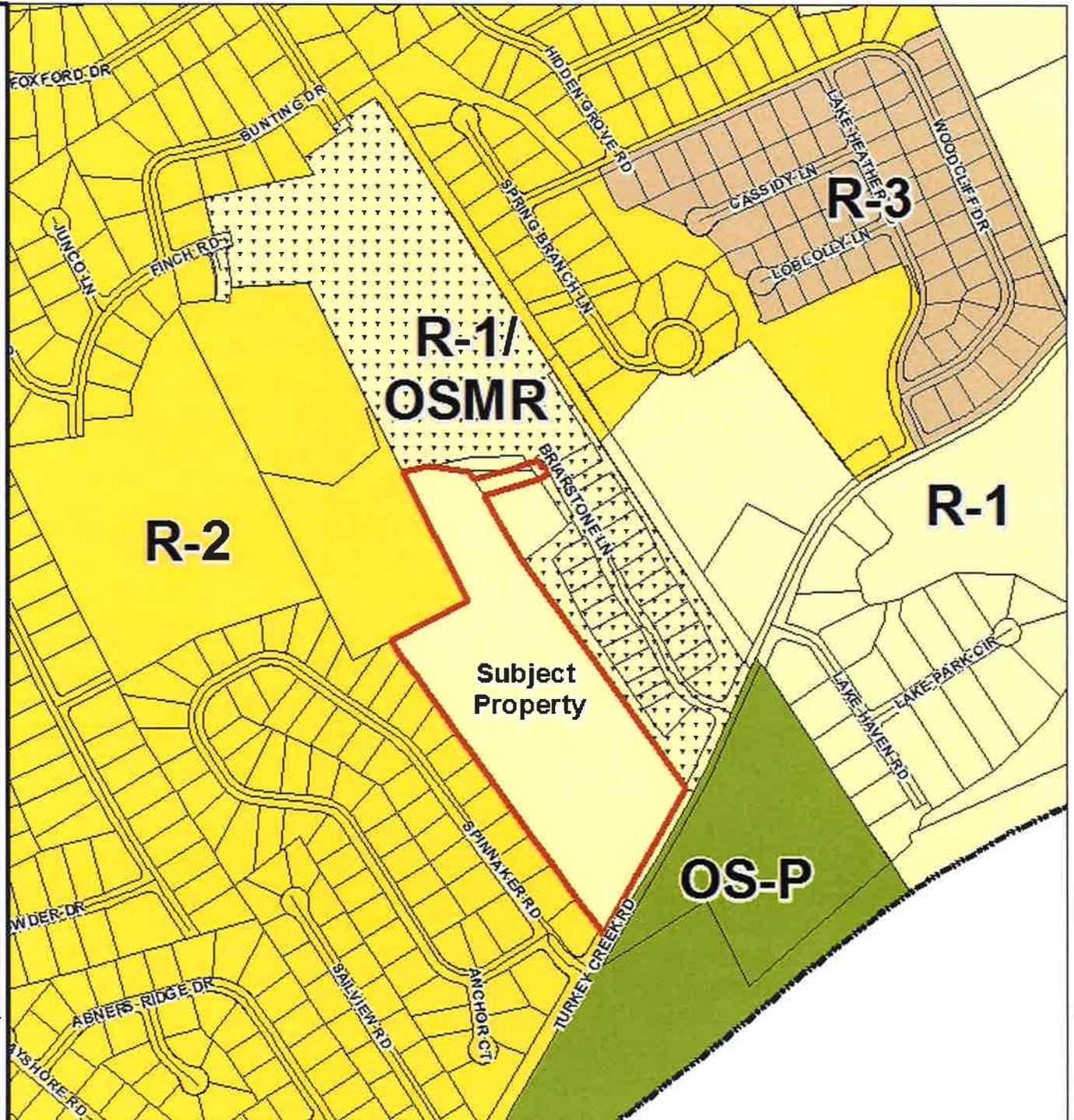
From  
Rural Single Family  
Residential (R-1)  
to  
Small Lot Single Family  
Residential (R-3)

**Legend**

-  Town Limit
-  Streets
-  Smith Property
-  Parcels
-  OS-P, Open Space/Park
-  R-1, Rural Single-Family Residential
-  R-2, General Single-Family Residential
-  R-3, Small Lot Single-Family Residential
-  OSR, Open Space Residential Overlay
-  OSMR, Open Space Mixed Residential Overlay



1 in = 500 ft



# EXHIBIT B

TOTAL AREA = 16.377 AC

**Certificate of Electric, Gas and Telephone Availability**

This is to certify that every lot within this subdivision has available to it a source for the service identified by signature(s) below which service source is adequate to accommodate the reasonable needs of such lot as to such service with such subdivision.

2-23-15 GAS Shay Shupak KUB  
 Name, Title & Agency of Authorized Approving Agent  
 2/23/15 ELECTRIC Michael H. HED KUB  
 Name, Title & Agency of Authorized Approving Agent  
 2-23-15 TELEPHONE Thomas J. TDS  
 Name, Title & Agency of Authorized Approving Agent

**CERTIFICATE FOR STREET APPROVAL**

I certify that streets, sidewalks, and other required improvements have been installed in an acceptable manner and according to Town specifications, or that a security bond in the amount of \$40,000 has been posted with the Planning Commission to assure completion of all required improvements in case of default. Streets (are) public streets maintained at public expense.

2/23/15 DATE 2/23/15  
 TOWN ENGINEER  
 License No.: 20,789

**CERTIFICATE OF APPROVAL FOR RECORDING**

I hereby certify that the subdivision plot shown here has been found to comply with the Subdivision Regulations for Farragut, Tennessee, with the exception of such variances, if any, as are noted in the minutes of the Planning Commission and that it has been approved for recording in the Office of the County Register of Deeds.

2/23/15 DATE 2/23/15  
 Secretary, Planning Commission

**CERTIFICATE OF APPROVAL OF WATER SYSTEM**

I hereby certify that it has been certified to us that the water system(s) outlined or indicated on the final subdivision plot entitled

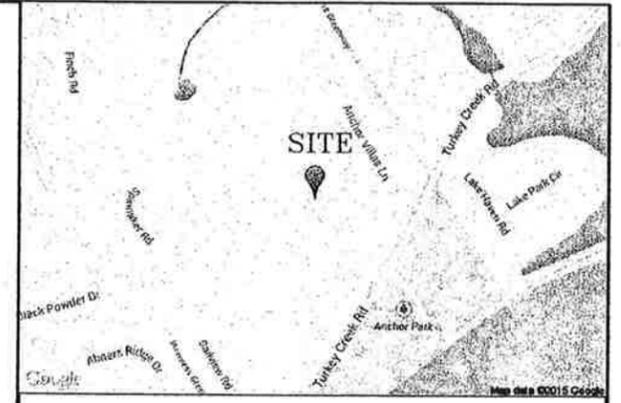
BRARSTONE SUBDIVISION PHASE I - have been installed in accordance with current local and state government requirements.

Michael H. Hed 2/23/15  
 Date, Name, Title, and Agency of Authorized Approving Agent

**CERTIFICATE OF APPROVAL OF STREET NAMES**

This is to certify that the subdivision shown hereon has been reviewed for compliance with the Knox County Uniform Street Naming & Addressing System Ordinance, and the road names are hereby approved for recording.

2/25/15 DATE 2/25-15  
 Knox County Addressing Division / Date



I certify that this plat qualifies under the provisions of Section 13-3-401 of the Tennessee Code, Annotated and is exempt from the requirements of the Knoxville/Knox County Minimum Subdivision Regulations, because (a) no new street or utility construction is required, and (b) all resultant tracts are five (5) acres or greater in size.

Surveyor: Michael Hed  
 Reg. No. 2447 Date 2-26-15

CLT TAX MAP 1531B015  
 CHRISTINE LORENZ  
 VILLAS AT ANCHOR PARK PHASE I  
 D.B. 201403310055681  
 PLAT: 201308230013381

CLT TAX MAP 1531B034  
 KNOXFI TWO LLC  
 VILLAS AT ANCHOR PARK PHASE I  
 D.B. 201409300018574  
 PLAT: 201308230013381

CLT TAX MAP 152 05907  
 LOT 3  
 GEORGE W & PATRICIA H SMITH PROPERTY RESUB.  
 D.B. 200609120022997  
 PLAT: 200509090023056

16.377 Acres  
 713,387 SQ. FT.

LINE	BEARING	DISTANCE
L1	S28°35'11"W	119.38'
L2	S30°54'44"E	33.96'
L3	N73°33'04"E	198.80'
L4	N73°33'04"E	11.01'
L5	N80°04'50"E	24.44'
L6	S29°55'10"E	31.55'
L7	N56°46'04"E	10.52'
L8	S29°55'10"E	29.05'
L9	S60°04'50"W	47.03'
L10	S73°33'04"W	201.42'
L11	S30°54'44"E	44.00'

**GENERAL NOTES**

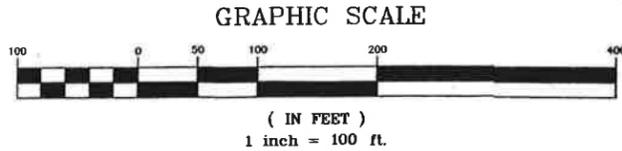
- IRON PINS SET AT ALL CORNERS, BY THIS SURVEY, UNLESS OTHERWISE NOTED. (FINAL PLAT)
- A FIVE (5') FOOT UTILITY, DRAINAGE AND CONSTRUCTION EASEMENT ON EACH SIDE OF INTERIOR LOT LINES, A TEN (10') FOOT UTILITY, DRAINAGE AND CONSTRUCTION EASEMENT ON INSIDE OF ROAD RIGHTS-OF-WAY AND EXTERIOR LOT LINES. DEED REFERENCE: INSTRUMENT NO. 200609120022997
- PROPERTY SHOWN ON CLT 152 05907
- PROPERTY ZONE R1 (LOW DENSITY RESIDENTIAL DISTRICT) MINIMUM BUILDING SETBACKS FOR (R1) ZONING ARE AS FOLLOWS:  
 FRONT YARD: 35 FEET  
 SIDE YARD: 40 FEET TOTAL  
 NOT LESS THAN 15 ON ONE SIDE  
 REAR YARD: 25 FEET
- VILLAS AT ANCHOR PARK AND FUTURE DEVELOPMENT ARE ZONED R1/OMSR 6. TOTAL AREA : 16.378 ACRES  
 ALL WALKING TRAILS SHALL HAVE A 20' EASEMENT IN FAVOR OF THE TOWN OF FARRAGUT AND ARE RESERVED FOR PUBLIC USE. TOWN OF FARRAGUT SHALL ACCEPT MAINTENANCE AND LIABILITY OF TRAILS AND EASEMENTS UPON THE RELEASE OF THE 2-YEAR MAINTENANCE LETTER OF CREDIT RELATED TO THE WALKING TRAILS.
- A 15' UTILITY EASEMENT EXISTS, 7.5 EITHER SIDE OF WATER AND SEWER LINES AS INSTALLED.
- THE PURPOSE OF THIS PLAT IS TO MOVE LOT LINES COMMON WITH LOT 15 ANCHOR PARK PHASE I AND FUTURE DEVELOPMENT OF ANCHOR PARK ACCESS STRIP TO FUNCTION AS AN ACCESS EASEMENT TO BENEFIT SMITH PROPERTY (LOT 3R) ONLY UPON DEVELOPMENT OF SMITH PROPERTY ACCESS STRIP TO BE DEDICATED AS R.O.W.

SYMBOL LEGEND	
	IRON PIN (SIZE&TYPE)
	IRON PIN SET
	POWER BOX
	TELEPHONE RISER
	GUY WIRE
	SEWER MANHOLE
	SERVICE POLE
LINE LEGEND	
	OVERHEAD ELEC.

**\*DOES NOT AFFECT EASEMENT FOR OVERHEAD AND UNDERGROUND ELECTRIC SYSTEM ON MAP RELEASE OF EASEMENT(S) CERTIFICATION**

Except as noted or shown on this plat, the following parties hereby consent to the release of all rights that may have accrued for their use and benefit (1) in the utility, drainage, and construction easements along the original lot lines or (2) in prior easements identified hereon which are being eliminated by this plat, on the condition that new utility, drainage, and construction easements are provided along the new property lines or as facilities are otherwise installed or shown hereon. The above provisions notwithstanding prior easements or prior utility placements are not released unless their release is specifically noted hereon. Existing easements or placements shown hereon will not be adversely affected by the development of this plat.

Michael Hed 2/23/15  
 Signature (surveyor) Date  
Michael Hed 2/23/15  
 Signature (electricity) Date  
Shay Shupak KUB 2-23-15  
 Signature (gas) Date  
Thomas J. TDS 2-23-15  
 Signature (telephone) Date  
B. L. Davis 2-26-15  
 Signature (owner) Date  
Michael Hed 2/23/15  
 Signature (owner) Date



Page: 5 OF 5  
 201502270046111

COUNTERSIGNED  
 KNOX COUNTY PROPERTY ASSESSOR  
 FEB 27 2015  
 BY PHIL BALLARD

**Certificate of Ownership and Dedication**  
 I (We) hereby certify that I am (we are) the owners of the property shown and described hereon and that I (we) hereby adopt this plan of subdivision with my (our) free consent, establish the minimum building restriction lines, and dedicate all streets, alleys, walks, parks, and other open space to public or private use as noted.  
 2/25/15 DATE  
George Smith



**CERTIFICATE OF SURVEY ACCURACY**  
 I hereby certify that the plan shown and described hereon is a true and correct survey to the accuracy required by the Farragut Municipal Planning Commission and that the monuments have been placed as shown hereon, to the specification of the Subdivision Regulations. This is a Category I Land Survey and the standard of precision of the unadjusted survey is equal to or better than 1:10,000.  
 02/09/15 Date  
Michael Hed  
 Registered Surveyor  
 No. 2447



MEETING DATE: May 19, 2016

## REPORT TO THE FARRAGUT MUNICIPAL PLANNING COMMISSION

**PREPARED BY:** Ashley Miller, Assistant Community Development Director

**SUBJECT:** Discussion on a request to rezone a portion of Parcel 69, Tax Map 142, north of the Farragut Church of Christ, 22.13 Acres, from R-2 to S-1 (Goodworks Unlimited, LLC, Applicant)

---

**INTRODUCTION AND BACKGROUND:** As you will recall, earlier this year a number of amendments were passed that involved adding language to the S-1 (Community Service District) to allow for a senior living community. This workshop discussion involves primarily a request to rezone a portion of Parcel 69, Tax Map 142 from R-2 to S-1. Also, as part of this request and as something that came up during the staff/developer meeting with the applicant, some abutting properties (which are under the same ownership) are noted on the exhibit in your packet for possible zoning map amendments. These additional areas will need be discussed in some depth as part of this workshop item. The purpose of revisiting some of the current zoning on the abutting properties is to make the zoning districts in the general area more logical and functional in relation to the request submitted by Goodworks Unlimited. The most significant modifications involve the deletion of a section of Buffer Zone (B-1) and the conversion of some property currently zoned Office (O-1) to General Commercial (C-1).

In terms of the 22 acres that are being requested for a rezoning from R-2 to S-1, on the future land use map in the CLUP the property is designated as medium density residential (6-12 units per acre). Staff questions if a CLUP amendment to Civic/Institutional is necessary due to the limited uses permitted within the S-1 District and the transitional elements required for a senior living community. In some ways, a senior living community would be very consistent with a medium density residential land use because, in association with such developments, there will be a licensed facility with a specified number of beds and both attached and detached independent dwelling units. Collectively, these would function as a medium density land use. A Civic/Institutional land use designation would be appropriate however for most other uses permitted in the S-1 Zoning District. The question of whether a future land use map amendment is needed will be part of the workshop discussion on this item.

**DISCUSSION:** As with any rezoning request, the main question is whether the desired zoning district is appropriate for the property. As a transitional district between commercial/office and residential, the staff would envision the S-1 to be generally appropriate for the property in question.



LIVE CLOSER • GO FURTHER  
**farragut**

Ordinance 16-XX  
Exhibit A

**Subject  
Area**

**Legend**

- Town Limit
- Streets
- Parcels

KnoxCounty2014.sid

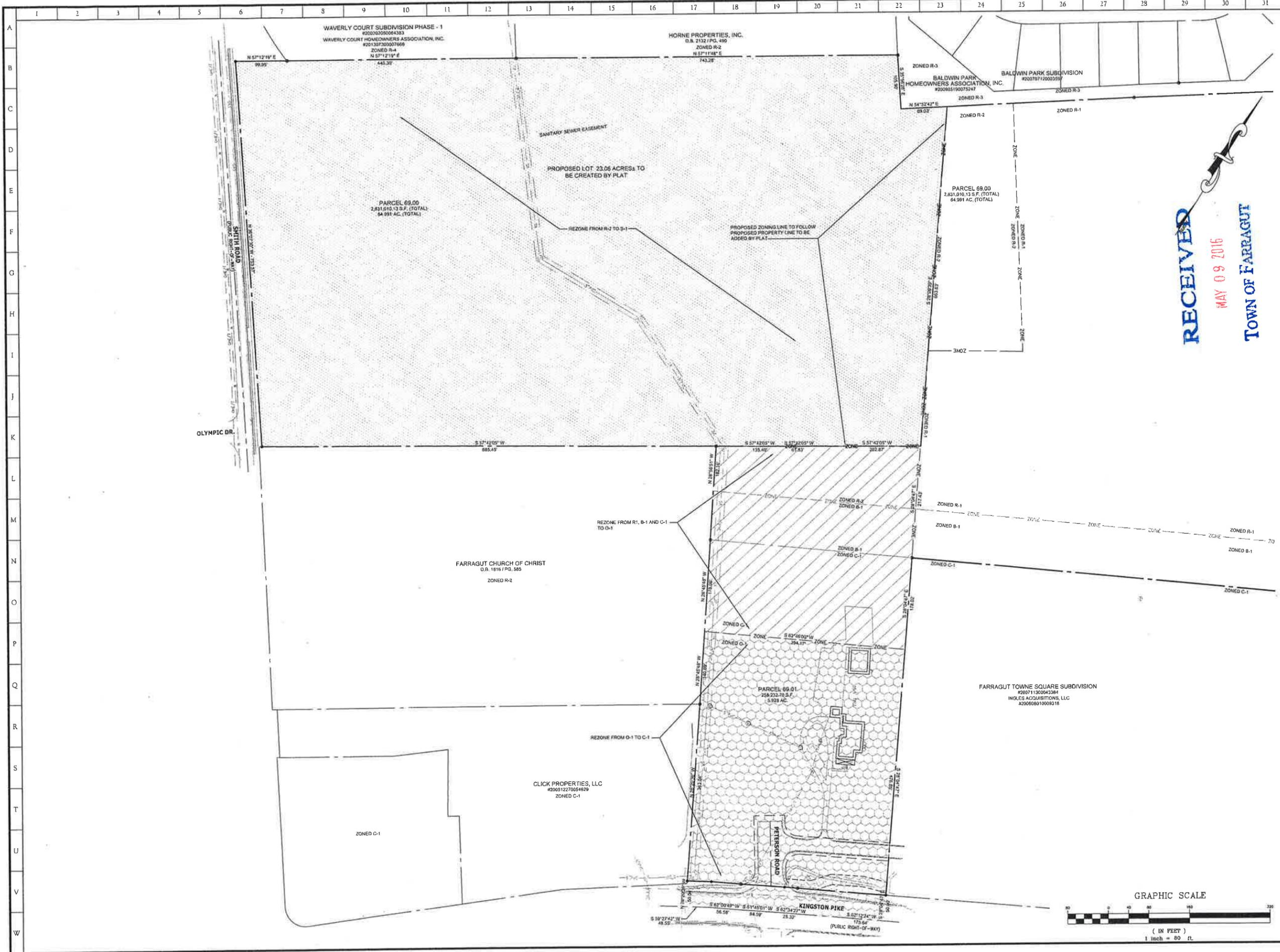
RGB

- Red: Band\_1
- Green: Band\_2
- Blue: Band\_3



1 in = 600 ft

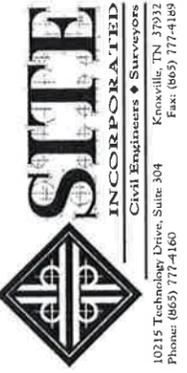




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MAY 09 2016

TOWN OF FARRAGUT



Rezoning Exhibit

# Villages of Farragut

208 Smith Road  
Farragut, Tennessee

DR-1 W/ BY: JAE DATE: 04/18/16  
 CHECKED BY: JRA FILE: 1921 CSP3

**REVISIONS**

NO.	DATE	COMMENTS
1	05/09/16	Revised per Town Comments

# RZ-1

MEETING DATE: May 19, 2016

## REPORT TO THE FARRAGUT MUNICIPAL PLANNING COMMISSION

**PREPARED BY:** Ashley Miller, Assistant Community Development Director

**SUBJECT:** Discussion and public hearing on a concept plan for the Villages of Farragut, located off Smith Road, a portion of Parcel 69, Tax Map 142, Zoned R-2, 22.13 Acres (Goodworks Unlimited, LLC, Applicant)

---

**INTRODUCTION AND BACKGROUND:** This concept plan is related to the previous item and any approvals would need to be conditioned on the approval of the requested rezoning. The proposal is to develop a senior living community on approximately 22.13 acres. As shown, the senior living community will consist of a larger building within the center of the property, which contains 71 senior living suites and 24 memory care rooms. The concept also reflects attached single-family along the property line adjoining the church and within the center of the development, and detached single-family along Smith Road and the property line adjoining the Waverly Court and Baldwin Park Subdivisions.

**DISCUSSION:** As noted in the previous agenda item, the developer is looking to develop a portion of the tract as a senior living community. As part of the development, Peterson Road is proposed to be extended back to the subject property and stub-out to the remaining property to the east. A plat will be needed to create the lot that will become the Villages of Farragut and that will establish the needed public rights of ways. The concept plan includes vehicular and pedestrian connections to abutting properties consistent with the CLUP. The staff strongly recommends that these connections be part of any approval of the concept plan.

Included in your packet is a copy of the latest concept plan for the Villages of Farragut along with the staffs' comments on the initial concept plan that was submitted.

**RECOMMENDATION:** The staff will make a recommendation at the meeting based on whether the initial comments on the concept plan have been satisfactorily addressed. However, any action will need to be conditioned on the approval of the requested rezoning and the submission of a plat to create the lot and public improvements.



Civil Engineers

RECEIVED

MAY 09 2016

TOWN OF FARRAGUT

May 09, 2016

Mark Shipley  
Town of Farragut  
11408 Municipal Center Dr.  
Farragut, TN 37934

Re: Staff comments on Concept Plan for Villages of Farragut, 208 Smith Road

Dear Mark,

Please find attached our revised plans per staff comments dated 04/28/16. We have provided responses to staff comments below.

Planning Division: (Contact Mark Shipley at [mshipley@townoffarragut.org](mailto:mshipley@townoffarragut.org) or Ashley Miller at [amiller@townoffarragut.org](mailto:amiller@townoffarragut.org))

1. A plat will be needed to create the lot that will become the Villages of Farragut. Currently, this is shown on a portion of Parcel 69, Tax Map 142.  
**A plat will be submitted at the appropriate time.**
2. A preliminary plat will be needed for all public improvements.  
**A preliminary plat for the extension of Peterson Road will be submitted upon approval of concept plan and property rezoning.**
3. Please provide a more legible vicinity map.  
**The vicinity map on sheet CP-1 has been revised to make more legible.**
4. Please include pedestrian facilities along Peterson Road and stub out walking trails to all abutting undeveloped properties, including a connection to the Smith Road sidewalk in the northwestern portion of the property.  
**We have added an additional sidewalk connection to Smith Road at the northwest end of the property, a sidewalk connection to the property to the east at the northeast end of the property, a sidewalk along Peterson Road, and extended the sidewalk from the cottages along the south property line to Peterson Road.**
5. The conceptual pedestrian network is fragmented and should be continuous and connected throughout the development, including existing and future rights of ways.  
**We have added an additional sidewalk connection to Smith Road at the northwest end of the property, a sidewalk connection to the property to the east at the northeast end of the property, a sidewalk along Peterson Road, and extended the sidewalk from the cottages along the south property line to Peterson Road.**
6. Please provide calls and dimensions for the Peterson Road ROW extension.  
**Dimensions and calls have been added to sheet CP-1 for the Peterson Road ROW extension.**
7. Though this is at the conceptual stage, please consider mobbing the pedestrian facility around the heavily tree covered area along the eastern boundary. Have you considered including all of the tree covered area on the same property.  
**We have moved the pedestrian facility around the tree covered area, however existing and proposed topography will dictate the final location of the facility. We have relocated the eastern property line to include the tree covered area and to "clean up" some of the zoning lines.**

8. The independent catered living buildings must be at least 20 feet apart. Please correct.  
**The independent catered living buildings around the periphery of the site are 20' apart. Per discussion with Town staff, we would have the flexibility to decrease that separation for the individual buildings on the interior of the site as long as we met the building codes. Based on a conference call with Dan Johnson, John Householder, and Adam Price, buildings with separations of 10' or less will require additional wall ratings, and may require limited or no openings. It is our intent that all of the interior buildings be separated by more than 10'.**
9. Apply some measures to ensure that garages are not a dominant feature as viewed from the street. This could include offsets between the garages and the front façade, garages in the rear of freestanding buildings, or the use of alleys  
**The units that face Smith Road will have garages in the rear. The remainder of the units will be designed with consideration of minimizing the dominance of the garages.**
10. Please add some curvature and heavily landscaped medians to Peterson Road to slow vehicles and provide an inviting entrance to the development. This could be accomplished in part by working around and saving the large Eastern red cedar. Such a tree could be used to enhance and create a unique and park like approach into the development.  
**We have added some curvature to Peterson Road. Also included are medians, and sidewalk.**
11. Please extend the "future access" into the abutting property lines so that when an abutting property is developed it can tie into the existing street that stubs into the property.  
**The access roads have been stubbed to the north and to the east.**
12. Please ensure that the project will incorporate the required streetscape and outdoor open spaces and include the required low impact development practices in the storm water management system.  
**We will incorporate appropriate streetscape and outdoor open spaces, along with appropriate LID practices.**

Engineering Division: (Contact Darryl Smith at [Darryl.smith@townoffarragut.org](mailto:Darryl.smith@townoffarragut.org))

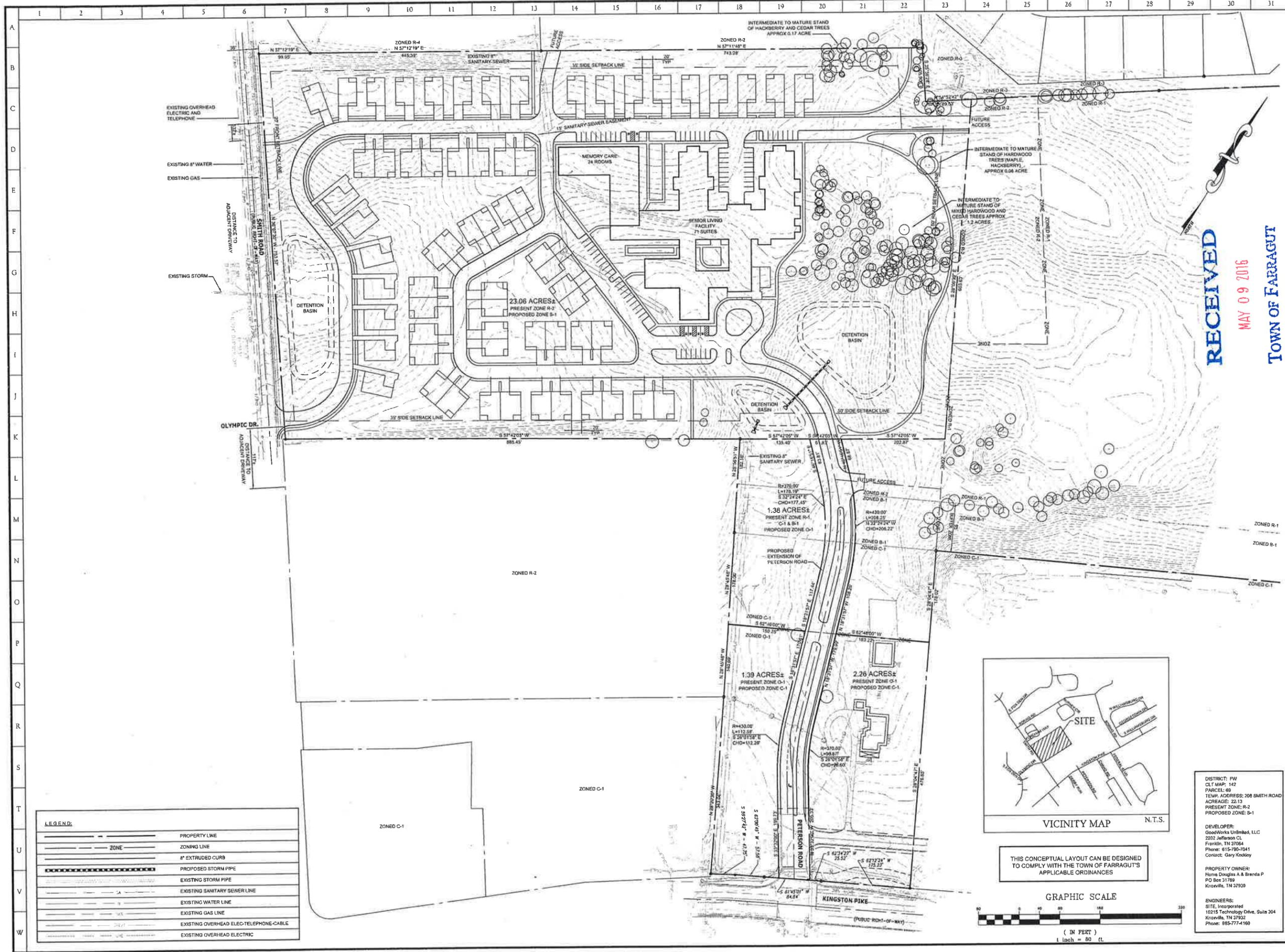
13. Please submit a Traffic Impact Study.  
**We will provide a Level I Study prior to the Planning Commission Meeting.**

Please let us know if any of our responses are unclear or if you need additional information.

Sincerely,



Annette Hommel, P.E.



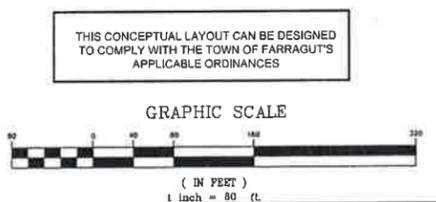
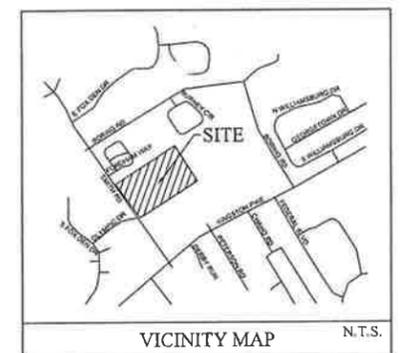
RECEIVED

MAY 09 2016

TOWN OF FARRAGUT

**LEGEND:**

	PROPERTY LINE
	ZONING LINE
	8" EXTRUDED CURB
	PROPOSED STORM PIPE
	EXISTING STORM PIPE
	EXISTING SANITARY SEWER LINE
	EXISTING WATER LINE
	EXISTING GAS LINE
	EXISTING OVERHEAD ELEC-TELEPHONE-CABLE
	EXISTING OVERHEAD ELECTRIC



DISTRICT: FW  
CLT MAP: 142  
PARCEL: 69  
TEMP. ADDRESS: 208 SMITH ROAD  
ACREAGE: 22.13  
PRESENT ZONE: R-2  
PROPOSED ZONE: S-1

DEVELOPER:  
GoodWorks Unlimited, LLC  
2202 Jefferson Ct.  
Franklin, TN 37064  
Phone: 615-790-7041  
Contact: Gary Kockley

PROPERTY OWNER:  
Home Douglas A & Brenda P  
PO Box 31769  
Knoxville, TN 37939

ENGINEERS:  
SITE, Incorporated  
10215 Technology Drive, Suite 304  
Knoxville, TN 37932  
Phone: 865-777-4160

**SITE**  
INCORPORATED

Civil Engineers & Surveyors

10215 Technology Drive, Suite 304  
Knoxville, TN 37932  
Phone: (865) 777-4160  
Fax: (865) 777-4169



Conceptual Site Plan

# Villages of Farragut

208 Smith Road  
Farragut, Tennessee

THIS PLAN CONTAINS CONCEPTUAL INFORMATION WHICH IS NOT INTENDED FOR CONSTRUCTION PURPOSES

DATE: 04/18/16	BY: JAE	FILE: 1921 CSP3						
CHECKED BY: JRA	DATE: 05/09/16	REVISIONS						
<table border="1"> <thead> <tr> <th>NO.</th> <th>DATE</th> <th>COMMENTS</th> </tr> </thead> <tbody> <tr> <td>1</td> <td>05/09/16</td> <td>Revised per Town Comments</td> </tr> </tbody> </table>			NO.	DATE	COMMENTS	1	05/09/16	Revised per Town Comments
NO.	DATE	COMMENTS						
1	05/09/16	Revised per Town Comments						
CP-1								

MEETING DATE: May 19, 2016

## REPORT TO THE FARRAGUT MUNICIPAL PLANNING COMMISSION

**PREPARED BY:** Ashley Miller, Assistant Community Development Director

**SUBJECT:** Discussion on a request to amend the front yard setback provisions in commercial zoning districts (MBH, Inc., Applicant)

---

**INTRODUCTION AND BACKGROUND:** This item was discussed at the previous meeting. As requested, the staff has drafted some preliminary language for consideration. The proposed amendments include modifications to front yard setback requirements, clarifications related to setbacks for accessory structures, screening requirements for surface parking, provisions for streetscape and outdoor open space, connectivity, and low impact development.

The amendments proposed have already been approved in some fashion in other zoning districts (S-1, C-1/MUTC, and BD-4) and are consistent with a number of provisions in the Town's adopted Architectural Design Standards (ADS). As you may recall, when the S-1 amendments were recently approved, it was noted that many of these provisions could be applied to other zoning districts since they would help advance desired standards in the ADS.

**DISCUSSION:** At last month's meeting, the proposed amendments were discussed in relation to the C-1 and O-1 Zoning Districts. However, staff questions if these amendments should not also be considered for the C-2 District to help achieve the built environment that is envisioned in the ADS Outlet Drive case study. A more flexible front yard setback allows designers to showcase an attractive building(s) with iconic elements rather than a large expanse of asphalt in the form of surface parking.

In terms of the C-2 Zoning District and where there is a concern related to a taller building being placed closer to the street, the ADS provides for a number of measures that could be employed to address this concern. Taller buildings in the C-2 District are also required additional setbacks for each foot such buildings are permitted to extend above the base 35 foot height.

As it relates to the parking lot, the staff also questions if the parking and loading provisions should not also be amended to encourage parking lots to be designed into smaller "pods." Reducing the required parking spaces between the interior parking islands is a way to lessen the visual impacts of surface parking and is a recommendation in the ADS.

Included in your packet are the proposed amendments to the C-1, C-2 and O-1 Zoning Districts, and the proposed amendments to the interior parking lot island provisions. This item is for discussion purposes only.

## **XII. - General commercial district (C-1).**

- C. *Area regulations.* The purpose of these setback regulations is to create a flexible building envelope that will enable the creative possibilities for development of a parcel to be maximized and to allow consideration of the natural features of a parcel as it is being developed. Please refer to Illustrations 6, 7 and 8 (see Chapter 1) – these illustrations will need to be updated. These illustrations depict the intent of the following regulations. Setbacks shall be measured from the nearest point of any property line and all structures shall comply with the following setback requirements:

### **1. Front Yards.**

- a. **Where a parking lot is situated in the front yard between a building and an abutting street**, all buildings shall be set back from the nearest point of any right-of-way a minimum of eighty (80) feet.
- b. **Where only a driveway aisle is situated in the front yard between a building and an abutting street**, all buildings shall be set back from the nearest point of any right-of-way a minimum of sixty (60) feet ~~if only a driveway aisle is located in the front yard; or~~
- c. ~~All buildings shall be set back from the nearest point of any right-of-way a minimum of forty (40) feet if no paved surfaces are located in the front yard.~~ **Where neither a parking lot nor a driveway aisle is situated in the front yard between a building and an abutting street**, all buildings shall be set back from the nearest point of any right-of-way a minimum of twenty (20) feet.

~~All accessory structures, excluding detention basin structures and certain utility structures, shall be set back from the nearest point of any right-of-way a minimum of forty (40) feet, except as provided for elsewhere in this ordinance or the Municipal Code. Detention basin structures shall be set back from the nearest point of any right-of-way a minimum of ten (10) feet. Electrical substations, utility offices, or any other utility building shall meet the front yard setback requirements.~~

All accessory structures, **excluding signage (which would be subject to the provisions in the sign ordinance), detention basin structures (if associated with a low impact development measure), and/or non-roofed structures that provide for pedestrian engagement with the public street (such as outdoor patios, pedestrian facilities, sitting areas, public art)**, shall be set back from the nearest point of any right-of-way a minimum of ~~forty (40) feet~~ **twenty (20) feet**, except as provided for elsewhere in this ordinance or the Municipal Code.

**With the exception of linear pedestrian facilities that connect to similar facilities in the right of way, no structures shall encroach into the public right of way and/or platted utility easements.** Detention basin structures **that are not associated with a low impact development measure** shall be set back from the nearest point of any right-of-way a minimum of ten (10) feet. Electrical

substations, utility offices, or any other utility building shall meet the front yard **building** setback requirements.

Service areas and their associated structures (e.g. dumpsters, loading areas, utility buildings) shall be located to the side or rear of a building so as to minimize visual impacts from the street and foster a more pedestrian friendly streetscape.

**E. Parking.** As regulated in Chapter 4.

In order to minimize the visual impact of surface parking, where parking is situated between a building and a street or is parallel with a building along a street, a berm shall be constructed or landscaping shall be planted so as to limit the viewability of the parking lot from the street. A minimum of sixty (60) percent of the total parking lot length adjacent to the front property line shall be screened from view with a berm or landscaping.

**F. Streetscape and outdoor open space**

As part of a site plan review, a context appropriate active and interconnected streetscape with visually appealing and functional public spaces is encouraged. Some specific design objectives would be as follows:

1. Locate and orient outdoor open space (e.g. plazas, courtyards, patios, outdoor seating and benches, small park spaces or landscaped features) to provide a focal point to be actively used.
2. Provide landscape enhancements (e.g. bioswales, rain gardens, planters, flower gardens) to add visual interest, screen parking areas, and complement outdoor open spaces.

**G. Connectivity**

Development shall provide for context appropriate pedestrian and vehicular connectivity. This shall include providing connections within the property and to abutting properties, pedestrian connections into the development from the public street(s), and the construction of pedestrian facilities along the public street(s) frontages.

**H. Low Impact Development**

Development shall incorporate a minimum of one (1) of the following Low Impact Development (LID) practices into the design:

1. Twenty-five (25) percent of the parking lot being constructed with permeable pavers;
2. Stormwater runoff draining to rain gardens;
3. A building(s) being constructed with a vegetated roof, commonly referred to as a green roof;

4. Stormwater draining to bios wales/bioretenion facilities; or
5. Rainwater being harvested for irrigation or gray water uses.

## XV. - Regional commercial district (C-2).

- C. *Area regulations.* The purpose of these setback regulations is to create a flexible building envelope that will enable the creative possibilities for development of a parcel to be maximized and to allow consideration of the natural features of a parcel as it is being developed. **Please refer to Illustrations 11, 12 and 13 (see Chapter 1) – these illustrations will need to be updated.** These illustrations depict the intent of the following regulations.

Setbacks shall be measured from the nearest point of any property line and all structures shall comply with the following setback requirements. For the purposes of this ordinance, the interstate highway right-of-way shall be considered a side or rear lot line.

### 1. *Front Yards.*

- a. **Where a parking lot is situated in the front yard between a building and an abutting street** all buildings shall be set back from the nearest point of any right-of-way a minimum of seventy-five (75) feet;
- b. **Where only a driveway aisle is situated in the front yard between a building and an abutting street** all buildings shall be set back from the nearest point of any right-of-way a minimum of fifty-five (55) feet ~~if only a driveway aisle is located in the front yard; or~~
- c. ~~All buildings shall be set back from the nearest point of any right-of-way a minimum of thirty-five (35) feet if no paved surfaces are located in the front yard.~~

**Where neither a parking lot nor a driveway aisle is situated in the front yard between a building and an abutting street, all buildings shall be set back from the nearest point of any right-of-way a minimum of twenty (20) feet.**

~~All accessory structures, excluding detention basin structures and certain utility structures, shall be set back from the nearest point of any right-of-way a minimum of thirty-five (35) feet, except as provided for elsewhere in this ordinance or the Municipal Code. Detention basin structures shall be set back from the nearest point of any right-of-way a minimum of ten (10) feet. Electrical substations, utility offices, or any other utility building shall meet the front yard setback requirements.~~

All accessory structures, **excluding signage (which would be subject to the provisions in the sign ordinance), detention basin structures (if associated with a low impact development measure), and/or non-roofed structures that provide for pedestrian engagement with the public street (such as outdoor patios, pedestrian facilities, sitting areas, public art), shall be set back from the**

nearest point of any right-of-way a minimum of ~~forty (40) feet~~ **twenty (20) feet**, except as provided for elsewhere in this ordinance or the Municipal Code.

With the exception of linear pedestrian facilities that connect to similar facilities in the right of way, no structures shall encroach into the public right of way and/or platted utility easements. Detention basin structures that are not associated with a low impact development measure shall be set back from the nearest point of any right-of-way a minimum of ten (10) feet. Electrical substations, utility offices, or any other utility building shall meet the front yard **building** setback requirements.

Service areas and their associated structures (e.g. dumpsters, loading areas, utility buildings) shall be located to the side or rear of a building so as to minimize visual impacts from the street and foster a more pedestrian friendly streetscape.

E. **Parking.** As regulated in Chapter 4.

In order to minimize the visual impact of surface parking, where parking is situated between a building and a street or is parallel with a building along a street, a berm shall be constructed or landscaping shall be planted so as to limit the viewability of the parking lot from the street. A minimum of sixty (60) percent of the total parking lot length adjacent to the front property line shall be screened from view with a berm or landscaping.

F. **Streetscape and outdoor open space**

As part of a site plan review, a context appropriate active and interconnected streetscape with visually appealing and functional public spaces is encouraged. Some specific design objectives would be as follows:

1. Locate and orient outdoor open space (e.g. plazas, courtyards, patios, outdoor seating and benches, small park spaces or landscaped features) to provide a focal point to be actively used.
2. Provide landscape enhancements (e.g. bioswales, rain gardens, planters, flower gardens) to add visual interest, screen parking areas, and complement outdoor open spaces.

G. **Connectivity**

Development shall provide for context appropriate pedestrian and vehicular connectivity. This shall include providing connections within the property and to abutting properties, pedestrian connections into the development from the public street(s), and the construction of pedestrian facilities along the public street(s) frontages.

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Development shall incorporate a minimum of one (1) of the following Low Impact Development (LID) practices into the design:

1. Twenty-five (25) percent of the parking lot being constructed with permeable pavers;
2. Stormwater runoff draining to rain gardens;
3. A building(s) being constructed with a vegetated roof, commonly referred to as a green roof;
4. Stormwater draining to bios wales/bioretenion facilities; or
5. Rainwater being harvested for irrigation or gray water uses.

## **XVII. - Office district (O-1).**

- C. *Area regulations.* The purpose of these setback regulations is to create a flexible building envelope that will enable the creative possibilities for development of a parcel to be maximized and to allow consideration of the natural features of a parcel as it is being developed. **Please refer to Illustrations 15, 16 and 17 (see Chapter 1) – these illustrations will need to be updated.** These illustrations depict the intent of the following regulations.

Setbacks shall be measured from the nearest point of any property line and all structures shall comply with the following yard requirements. For the purposes of this ordinance, the interstate highway right-of-way shall be considered a side or rear lot line.

### **1. Front Yards.**

- a. **Where a parking lot is situated in the front yard between a building and an abutting street** all buildings shall be set back from the nearest point of any right-of-way a minimum of seventy (70) feet;
- b. **Where only a driveway aisle is situated in the front yard between a building and an abutting street** all buildings shall be set back from the nearest point of any right-of-way a minimum of fifty-five (55) feet ~~if only a driveway aisle is located in the front yard;~~ or
- c. ~~All buildings shall be set back from the nearest point of any right-of-way a minimum of forty (40) feet if no paved surfaces are located in the front yard.~~ **Where neither a parking lot nor a driveway aisle is situated in the front yard between a building and an abutting street, all buildings shall be set back from the nearest point of any right-of-way a minimum of twenty (20) feet.**

~~All accessory structures, excluding detention basin structures and certain utility structures, shall be set back from the nearest point of any right-of-way a minimum of forty (40) feet, except as provided for elsewhere in this ordinance or the Municipal Code. Detention basin structures shall be set back from the nearest point of any right of way a minimum of ten (10) feet. Electrical substations, utility offices, or any other utility building shall meet the front yard setback requirements.~~

All accessory structures, excluding signage (which would be subject to the provisions in the sign ordinance), detention basin structures (if associated with a low impact development measure), and/or non-roofed structures that provide for pedestrian engagement with the public street (such as outdoor patios, pedestrian facilities, sitting areas, public art), shall be set back from the nearest point of any right-of-way a minimum of ~~forty (40) feet~~ **twenty (20) feet**, except as provided for elsewhere in this ordinance or the Municipal Code.

With the exception of linear pedestrian facilities that connect to similar facilities in the right of way, no structures shall encroach into the public right of way and/or platted utility easements. Detention basin structures that are not associated with a low impact development measure shall be set back from the nearest point of any right-of-way a minimum of ten (10) feet. Electrical substations, utility offices, or any other utility building shall meet the front yard **building** setback requirements.

Service areas and their associated structures (e.g. dumpsters, loading areas, utility buildings) shall be located to the side or rear of a building so as to minimize visual impacts from the street and foster a more pedestrian friendly streetscape.

E. *Parking.* As regulated in Chapter 4.

In order to minimize the visual impact of surface parking, where parking is situated between a building and a street or is parallel with a building along a street, a berm shall be constructed or landscaping shall be planted so as to limit the viewability of the parking lot from the street. A minimum of sixty (60) percent of the total parking lot length adjacent to the front property line shall be screened from view with a berm or landscaping.

F. *Streetscape and outdoor open space*

As part of a site plan review, a context appropriate active and interconnected streetscape with visually appealing and functional public spaces is encouraged. Some specific design objectives would be as follows:

1. Locate and orient outdoor open space (e.g. plazas, courtyards, patios, outdoor seating and benches, small park spaces or landscaped features) to provide a focal point to be actively used.
2. Provide landscape enhancements (e.g. bioswales, rain gardens, planters, flower gardens) to add visual interest, screen parking areas, and complement outdoor open spaces.

G. *Connectivity*

Development shall provide for context appropriate pedestrian and vehicular connectivity. This shall include providing connections within the property and to abutting properties, pedestrian connections into the development from the public street(s), and the construction of pedestrian facilities along the public street(s) frontages.

#### H. Low Impact Development

Development shall incorporate a minimum of one (1) of the following Low Impact Development (LID) practices into the design:

1. Twenty-five (25) percent of the parking lot being constructed with permeable pavers;
2. Stormwater runoff draining to rain gardens;
3. A building(s) being constructed with a vegetated roof, commonly referred to as a green roof;
4. Stormwater draining to bios wales/bioretenion facilities; or  
Rainwater being harvested for irrigation or gray water uses.

#### XX. - Parking and loading.

##### A. Off-street parking requirements.

5. Minimum site design. To provide for orderly, safe, and systematic circulation within parking areas, off-street parking areas shall meet the following general requirements:
  - i. Interior islands not less than five (5) feet wide from inside of curb to inside of curb and extending the full length of the parking space shall be provided every ~~fifteen~~ ~~ten~~ (15 10) spaces within a row. As an alternative, an interior island not less than ten (10) feet wide from inside of curb to inside of curb and extending the full length of the parking space shall be provided every ~~twenty~~ ~~fifteen~~ (20 15) spaces within a row. The curbs shall be constructed with six (6) inch high raised curbs to prevent uncontrolled access of vehicles. **Where the area within an island is being used to accommodate stormwater an alternate means of preventing uncontrolled access of vehicles into such areas may be considered. In this manner, stormwater may be directed from the parking lot into the island area without being inhibited by curbing.**

## Site Design Case Study: Outlet Drive Development

The case study below illustrates development on an existing property located between Outlet Drive and Interstate 75 near the northern boundary of Farragut. The design meets the intent of the site design guidelines in this chapter, as applied to a site that is primarily designated as Office/Light Industrial on Farragut's Future Land Use Map. It also meets the intent of the design guidelines for the Outlet Drive subarea on page 66.

This case study is provided to illustrate design guidelines principles and does not represent a specific development proposal. The illustrated development provides space for office, light industrial and other employment uses and incorporates high-quality open space and low-impact development principles for stormwater management.

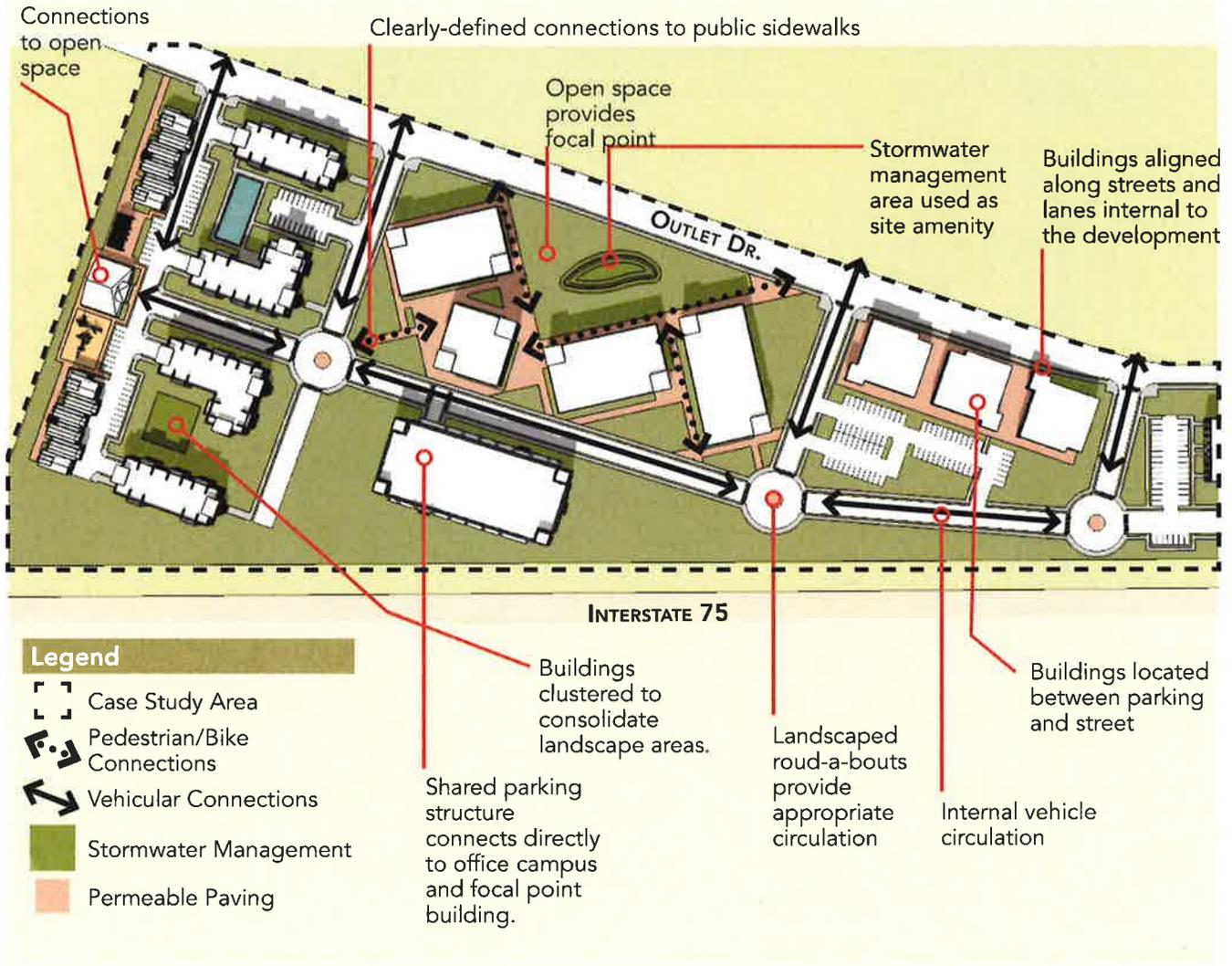


Figure 9: Site Design Case Study: Outlet Drive Development



*Soften the view of parked cars from a public sidewalk or street using a planted buffer of trees, shrubs and ground cover.*



*Avoid locating parking lots directly in front of primary pedestrian entries.*

### Farragut Zoning Ordinance Parking Standards

The Farragut Zoning Ordinance includes base parking requirements for all properties in Farragut, including:

- » Required number of spaces (based on land use)
- » Parking lot dimensions
- » Minimum parking lot landscaping

The design guidelines build on Zoning Ordinance requirements to address the design character of surface parking lots and their relationship to other uses on the site.

See "Town of Farragut Zoning Ordinance" on page 2 for more information.

## Surface Parking

Site design considerations for parking include the location of surface lots, their visual impact and relationship to pedestrian and vehicular circulation systems. Surface parking lots should not be a visually prominent feature of sites in Farragut, especially those along high-traffic corridors, such as Kingston Pike, or in locations intended for strong pedestrian orientation such as the Town Center District.

### 1.21 Minimize the visual impact of surface parking.

- a. Locate a parking area to the interior of a new development site. This is especially important on a corner property where the street wall should have a sense of enclosure.
- b. Divide a large parking area into small "pods" that maintain the traditional sense of smaller parking areas within a green landscape.
- c. Soften the view of parked cars from a public sidewalk or street using a planted buffer of trees, shrubs and ground cover, or a low wall constructed from materials compatible with the surrounding context and street frontage.
- d. For a small project, such as a new single-story building, consider locating up to two bays of parking (one drive aisle with parking spaces on either side) to the side (preferred) or in front of the building.

### 1.22 Locate and design parking lots to allow for pedestrian access.

- a. Provide landscaped islands with paths to promote pedestrian circulation across larger parking areas.
- b. Avoid locating a new surface parking area directly in front of primary pedestrian entries.

### 1.23 Design parking access to minimize potential negative impacts on pedestrians.

- a. Use shared drives to access surface parking areas, whenever possible to minimize the number of curb cuts along a block.
- b. Provide cross-property easements to share driveways and reduce the need for additional curb-cuts, when feasible.



*Provide landscaped islands with paths to promote pedestrian circulation across larger parking areas.*

MEETING DATE: May 19, 2016

## REPORT TO THE FARRAGUT MUNICIPAL PLANNING COMMISSION

**PREPARED BY:** Ashley Miller, Assistant Community Development Director

**SUBJECT:** Discussion on text amendments to the Farragut Zoning Ordinance, Chapter 3., Section XII., General Commercial District (C-1), to allow for craft brewery uses (Steve Dedman, Applicant)

---

**INTRODUCTION AND BACKGROUND:** This item is for a proposed text amendment to the C-1 Zoning District to allow for craft breweries as permitted uses. This use differs from a restaurant or tavern where the primary business is the sale of beer/wine to be consumed on the premises. Craft breweries differ from this because the product is made on-site, some consumption may occur on the premises but the product is also distributed off-site.

**DISCUSSION:** The applicant has submitted two proposed definitions. One for a brewpub and one for a craft brewery, winery or distillery use. The applicant has proposed an area restriction for both uses. Staff questions if the proposed 12,500 square feet for the craft brewery, winery or distillery use is too high and would like to discuss a limit of 10,000 square feet. This would help keep these type of uses small-scale and more in context with the Town's suburban character.

Craft breweries differ from most other retail entities that are within the Town because the product that is sold is also produced on-site. Where this currently occurs, such as in a bakery, the predominant use of the space is for retail sales, which are permitted in the Town's commercial zoning districts.

Though some elements are similar to a tavern use (e.g., the tasting room and consumption on-site), staff is concerned that craft breweries may take on more of a wholesale/distribution (industrial) character which would need to be given consideration as part of this request. For example, should the manufacturing area of beer, wine, or spirits be limited to 49% or less of the gross floor space?

Additionally, staff is concerned about the lack of food service on-site, as this has been an issue at other tavern locations within the town. Staff feels that if the text is amended to allow for brewpubs or craft breweries, on-site food service must be required for such a use.

Related to any amendment to the zoning ordinance, the applicant will also need to petition to change the Town's adopted Beer Ordinance since their request would not be provided for under the existing provisions.

Included in your packet are the two proposed definitions referenced above. Also included are some handouts about the applicant and their business model, some interior layouts of other breweries, and some images of what this may look like.

**RECEIVED APPLICATION TO AMEND ORDINANCE TEXT**  
**TOWN OF FARRAGUT, TENNESSEE**

APR 18 2016

FOR OFFICE USE ONLY  
Fee Paid: \$250

TOWN OF FARRAGUT

APPLICANT NAME: Steve Dedman  
Address: 615 Augustan Ln  
City/State/Zip: Knoxville, TN 37934  
Phone Number: (605) 406-7244  
Fax Number: \_\_\_\_\_  
E-mail: milemarkerzero@tds.net

**CHANGE REQUESTED**

Amend Zoning Ordinance, Sign Ordinance, or Municipal Code text as follows:

Please see attached

The proposed amendment is necessary due to the following changed or changing conditions: (be specific)

Applicant wishes to operate a production craft brewery within the municipal limits of the town of Farragut

Steve Dedman  
APPLICANT SIGNATURE

4/17/16  
DATE

OR

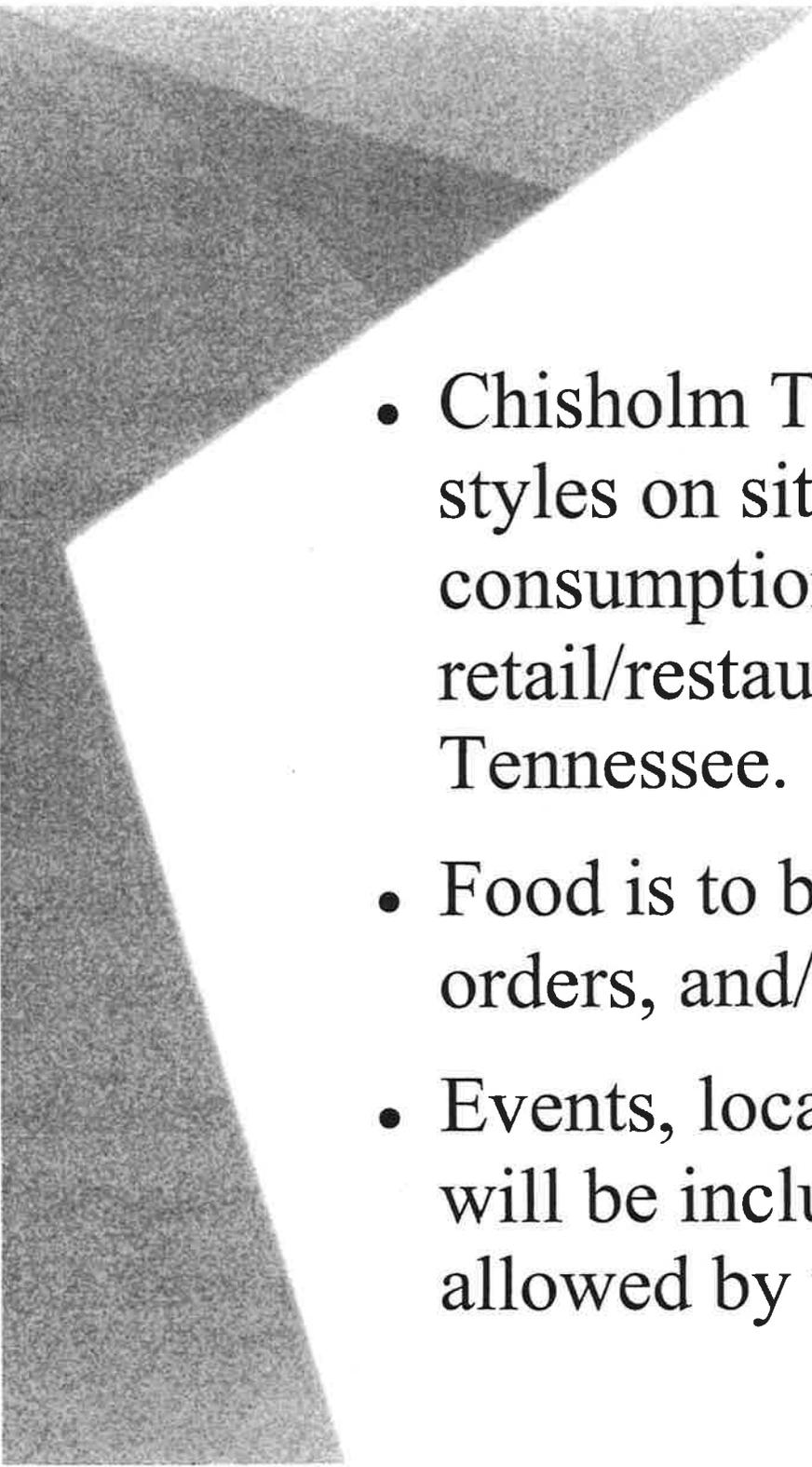
I HEREBY CERTIFY THAT I AM THE LEGAL REPRESENTATIVE FOR THE APPLICANT INVOLVED IN THIS REQUEST.

\_\_\_\_\_  
NAME (SIGNATURE) DATE

\_\_\_\_\_  
Street Address City/State/Zip Telephone Number

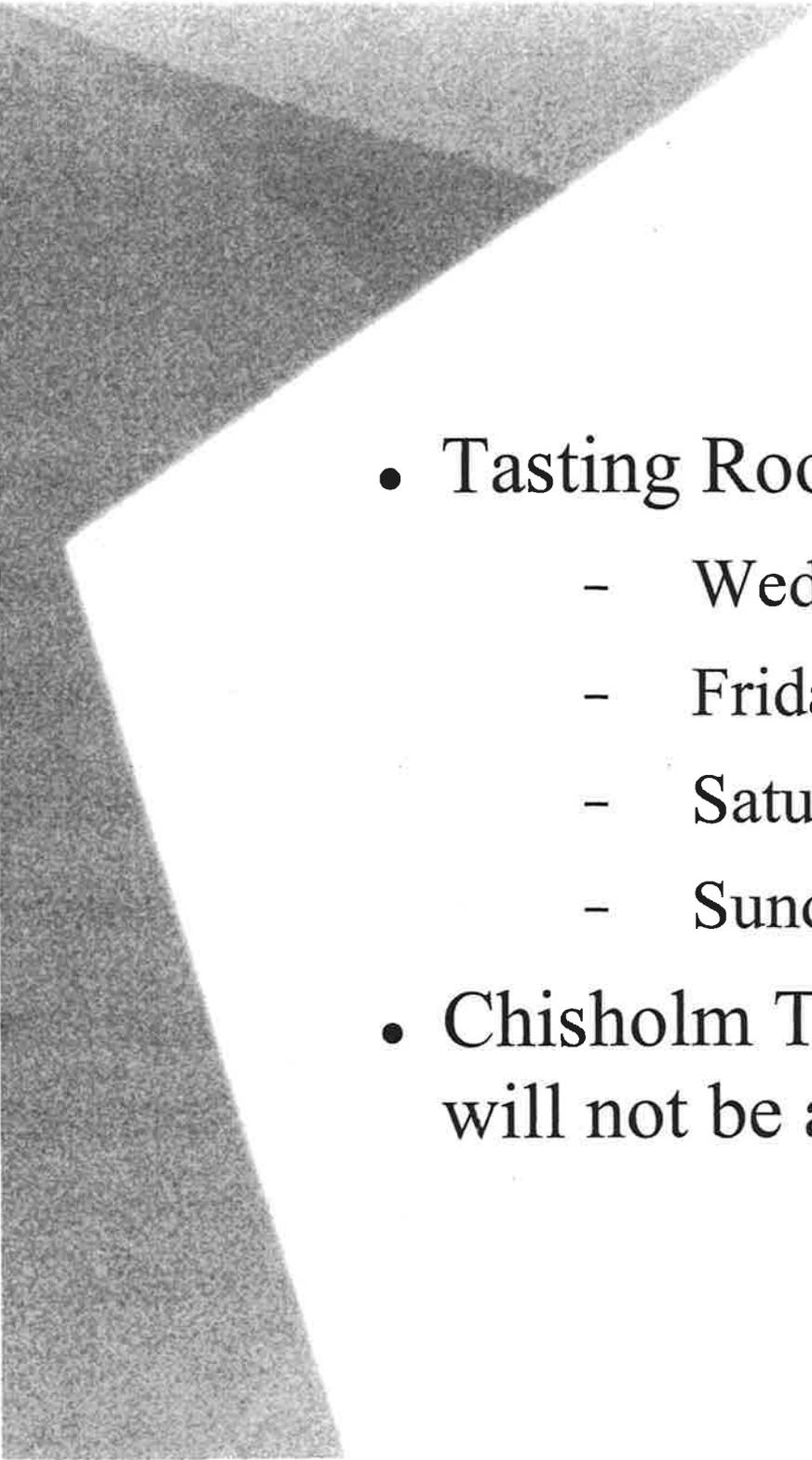
**Brewpub:** A type of eating or drinking establishment that includes as an accessory use the production of malt liquors, regardless of alcohol content by volume, for consumption on or off premises, in growlers or packaged sales. The area of the establishment devoted to the production of malt liquors shall not exceed 5,000 square feet.

**Craft Brewery, winery or distillery:** A type of brewery, winery or distillery wherein the area of the establishment shall not exceed 12,500 square feet in commercial zones to be set by the Municipal Planning Commission. The establishment may provide off premises sales. The establishment may include a tasting room with or without food service, and may also include office, retail, or event facility components in addition to the area devoted to production of malts, wines and liquors.



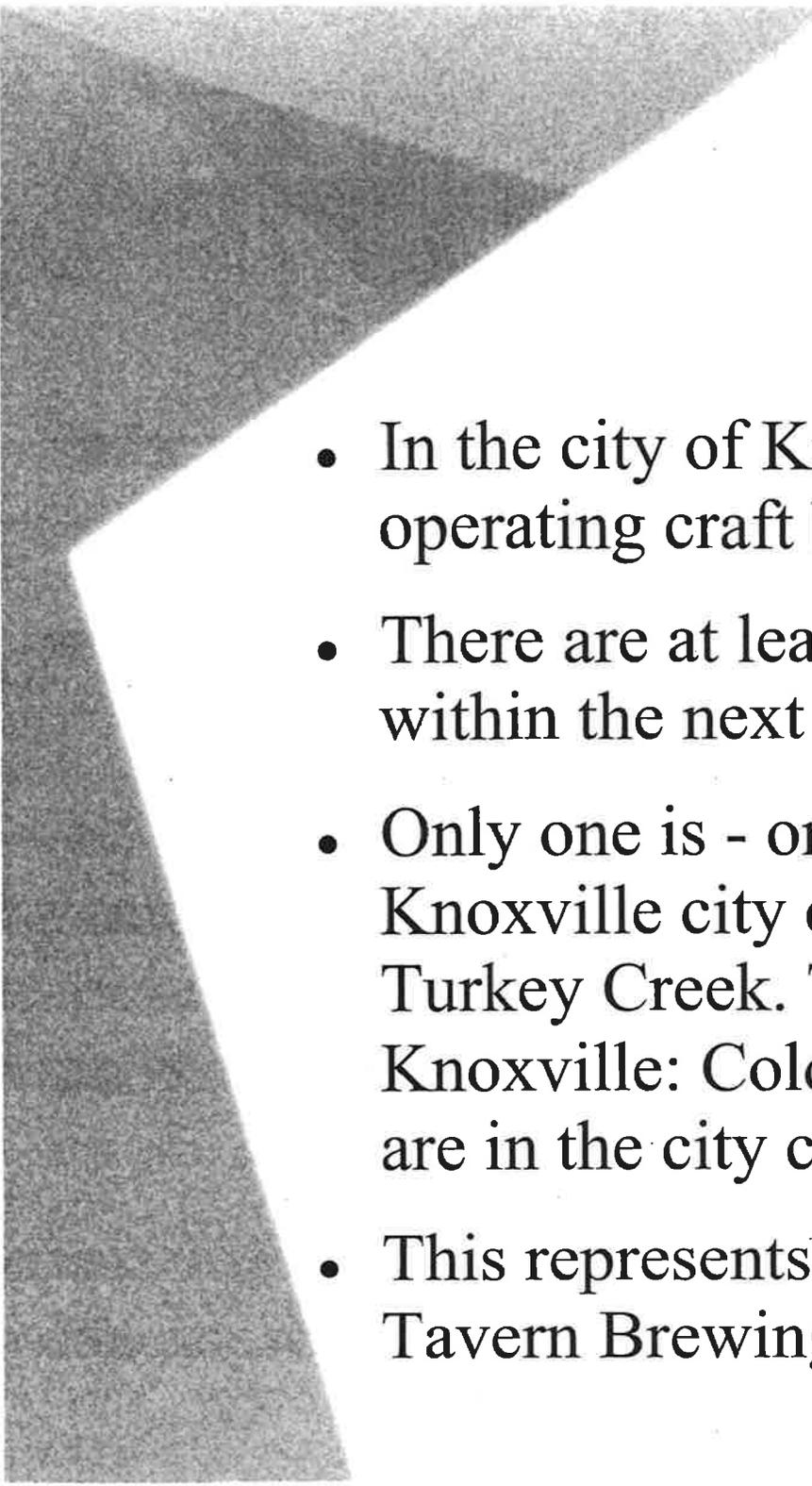
## *What We Will Do*

- Chisholm Tavern will brew beers of varying styles on site, to be sold for both on premises consumption and off, and to be distributed to retail/restaurant outlets throughout East Tennessee.
- Food is to be supplied via carry-in, delivery orders, and/or catering.
- Events, local musical acts, bingo, trivia, etc. will be included in brewery activities, as allowed by the Town of Farragut.



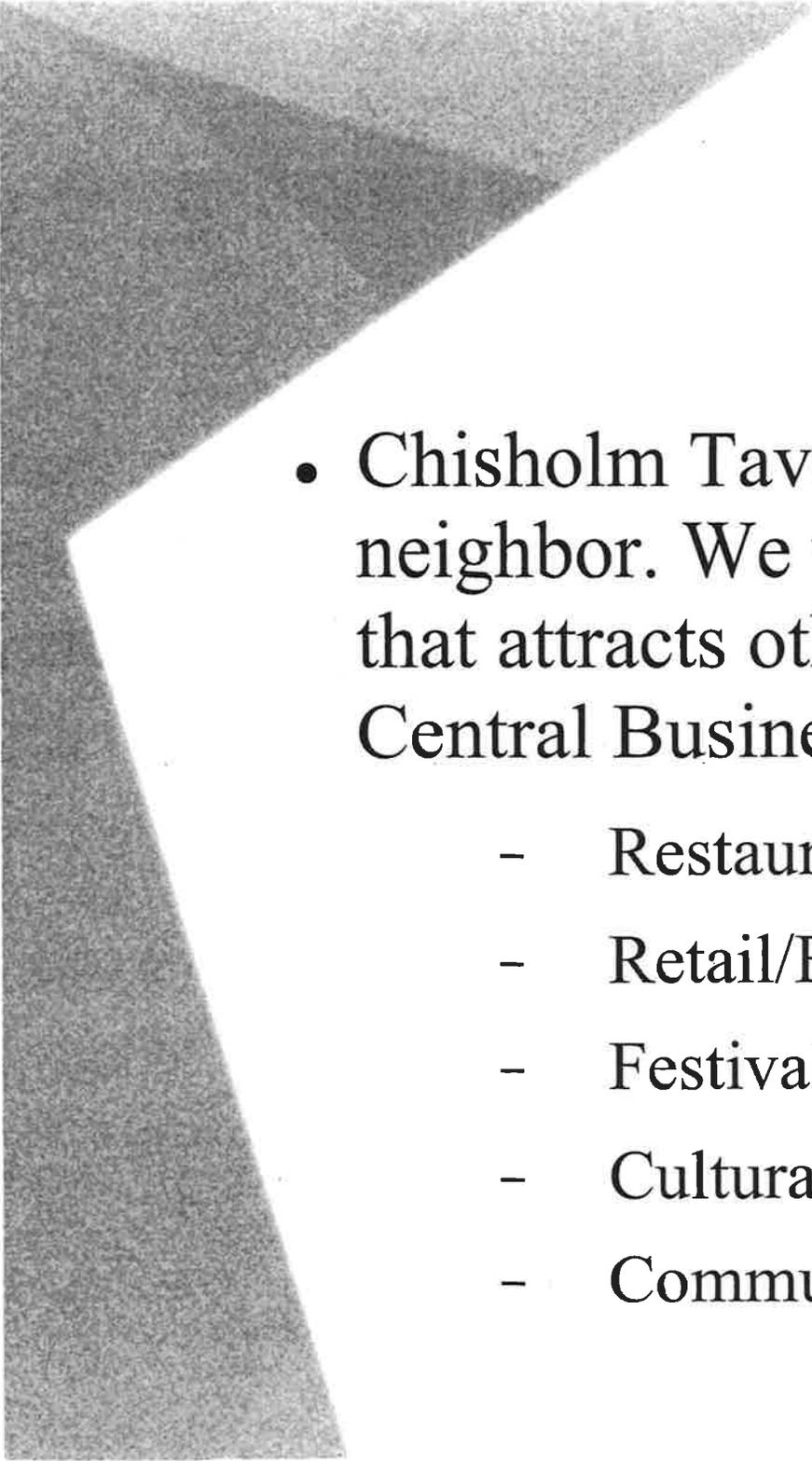
## *When We Will Do It*

- Tasting Room proposed hours:
  - Wed-Thu 3 p.m. to 11 p.m.
  - Friday 2 p.m. to midnight
  - Saturday Noon to midnight
  - Sunday noon to 10 p.m.
- Chisholm Tavern Brewing's tasting room will not be a late-night “watering hole.”



# *Craft Beer in Knoxville*

- In the city of Knoxville, there are currently 10 operating craft breweries.
- There are at least a further seven in planning to open within the next 24 months
- Only one is - or will be - located outside the Knoxville city center: Smoky Mountain Brewery Turkey Creek. Two are/will be located in near-north Knoxville: Cold Fusion and Hexagon. The remainder are in the city core.
- This represents a huge opportunity for Chisholm Tavern Brewing and the Town of Farragut.



# *Our Goals for Farragut*

- Chisholm Tavern Brewing wants to be a good neighbor. We want to be a development catalyst that attracts other businesses and events to the Central Business District.
  - Restaurants
  - Retail/Boutique Shops
  - Festivals
  - Cultural Events
  - Community Gatherings

# List of Images

- Fig 1: Enegren Brewing Co., Moorpark, CA. Layout.
- Fig 2: Alliance Brewing Co., Knoxville, TN. Layout.
- Fig 3: Pelican Brewery, Tillamook, OR. Layout.
- Fig 4: Eventide Brewing, Atlanta, GA. Layout.
- Fig 5: Brewery, Knoxville, TN. Layout.
- Fig 6: Brewpub, Knoxville, TN. Layout.
- Fig 7: Brewery, Knoxville, TN. Layout.
- Fig 8: Typical 15-barrel brewing system
- Fig 9: 15-barrel brewhouse
- Fig 10: Typical 15-barrel brewhouse, Cigar City Brewing,  
Tampa, FL
- Fig 11: Wiseacre Brewing, Memphis, TN. Tasting room.
- Fig 12: Catawba Brewing, Asheville, NC. Tasting room.
- Fig 13: Twin Leaf Brewing, Asheville, NC. Tasting room.

All layout figures show production areas outlined in black.

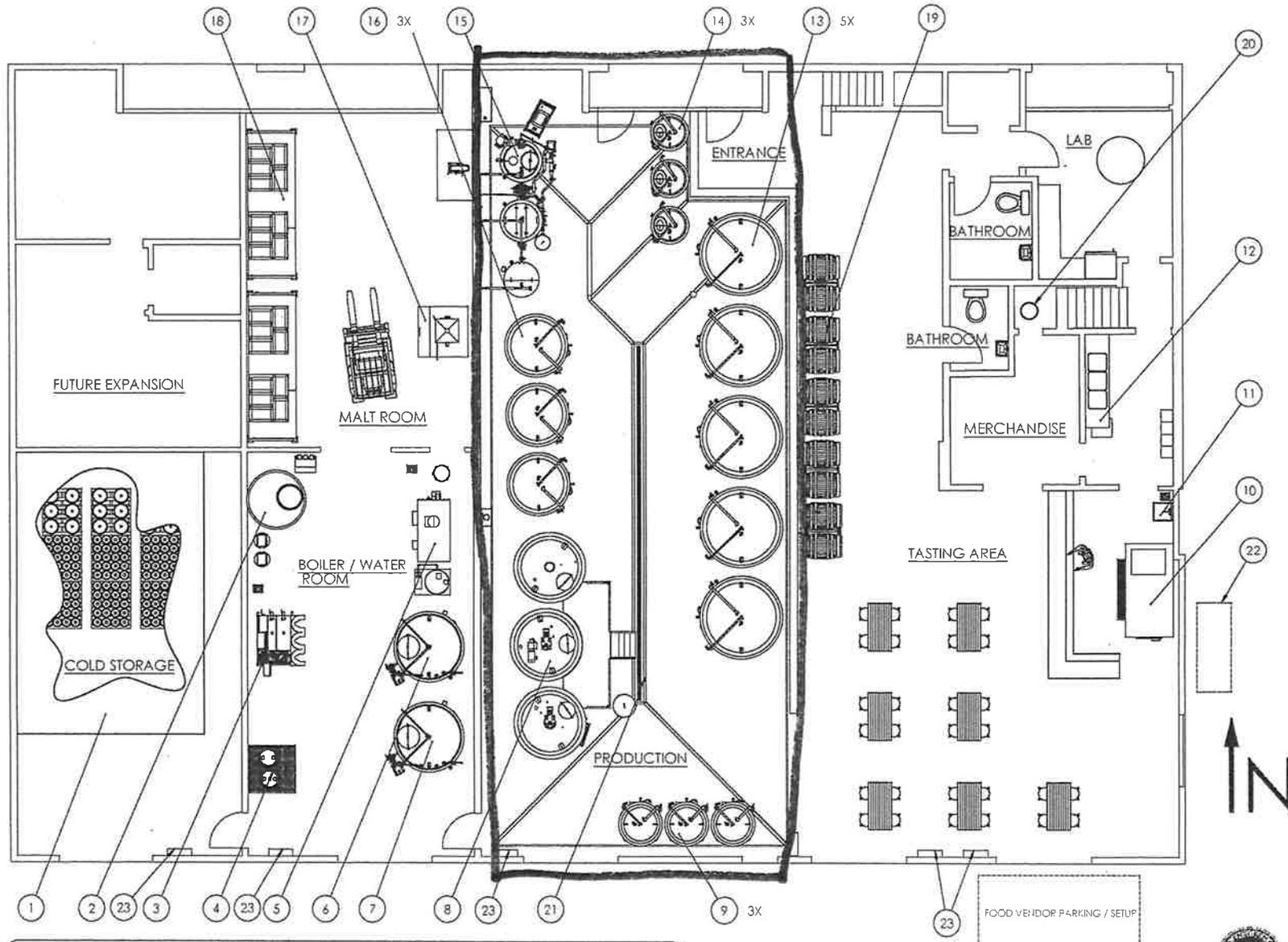


FIG. 1

- |                                  |                           |                      |
|----------------------------------|---------------------------|----------------------|
| 1. COLD STORAGE                  | 10. SMALL WALK-IN COOLER  | 19. BARRELS          |
| 2. REVERSE OSMOSIS WATER STATION | 11. MOP SINK              | 20. WATER HEATER     |
| 3. KEG WASHER                    | 12. 3 COMPARTMENT SINK    | 21. TRENCH DRAIN     |
| 4. CHEMICAL CONTAINMENT          | 13. 60 BBL FERMENTERS     | 22. MAIN WATER & GAS |
| 5. STEAM BOILER                  | 14. 3 BBL FERMENTERS      | 23. 200 AMP PANEL    |
| 6. HOT LIQUOR TANK               | 15. 3 BBL PILOT BREWHOUSE |                      |
| 7. COLD LIQUOR TANK              | 16. 30 BBL FERMENTERS     |                      |
| 8. 15 BBL BREWHOUSE              | 17. GRAIN CRACKER         |                      |
| 9. 7 BBL FERMENTERS              | 18. GRAIN RACK            |                      |

444 ZACHARY ST.  
 UNRS # 16.17 18.19.20  
 ENEGREN BREWING CO.  
 SIZE: DWG. NO. 444  
 SCALE 1:1 WEIGHT: SHEET 1 OF 3

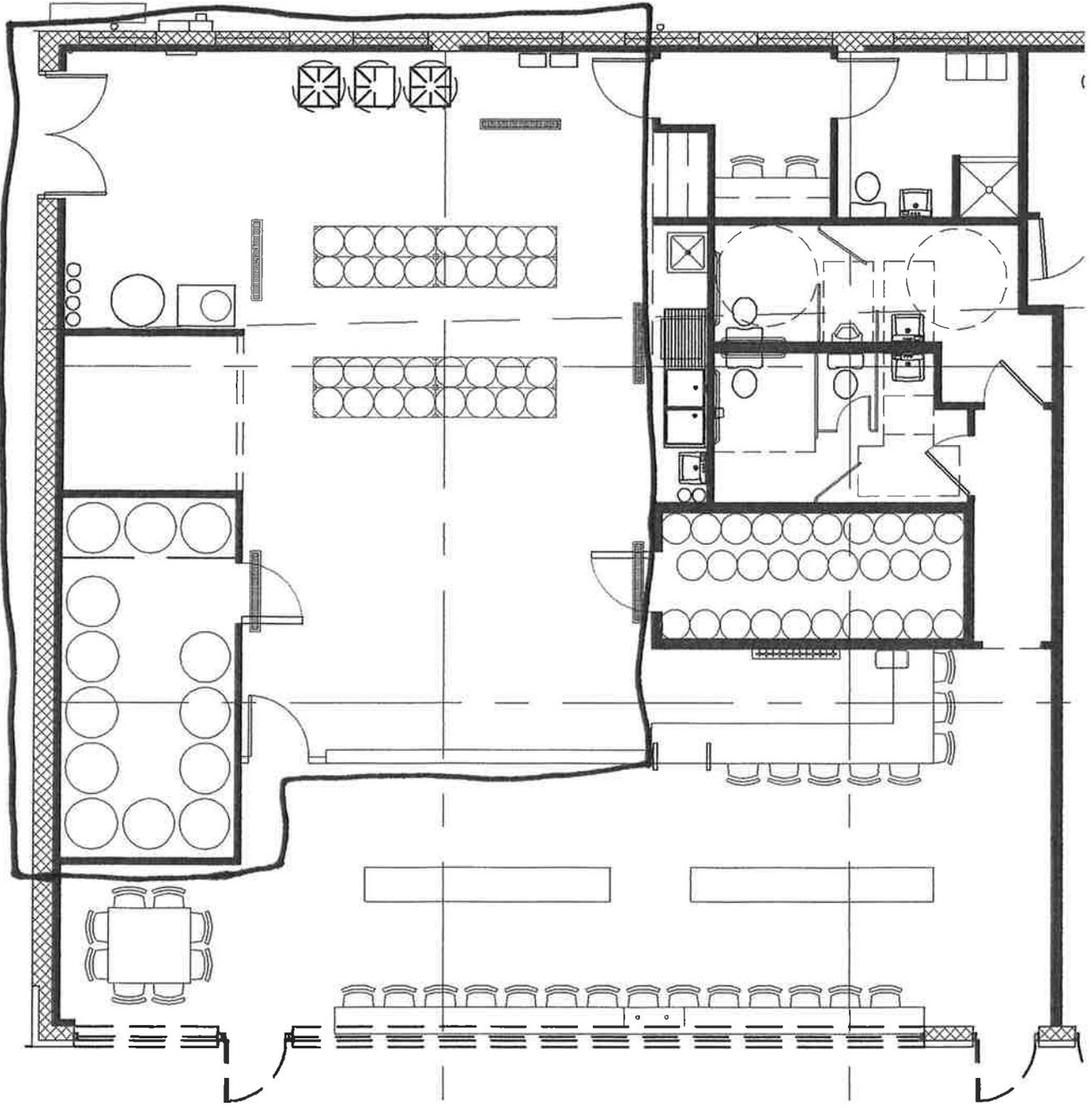


FIG. 2

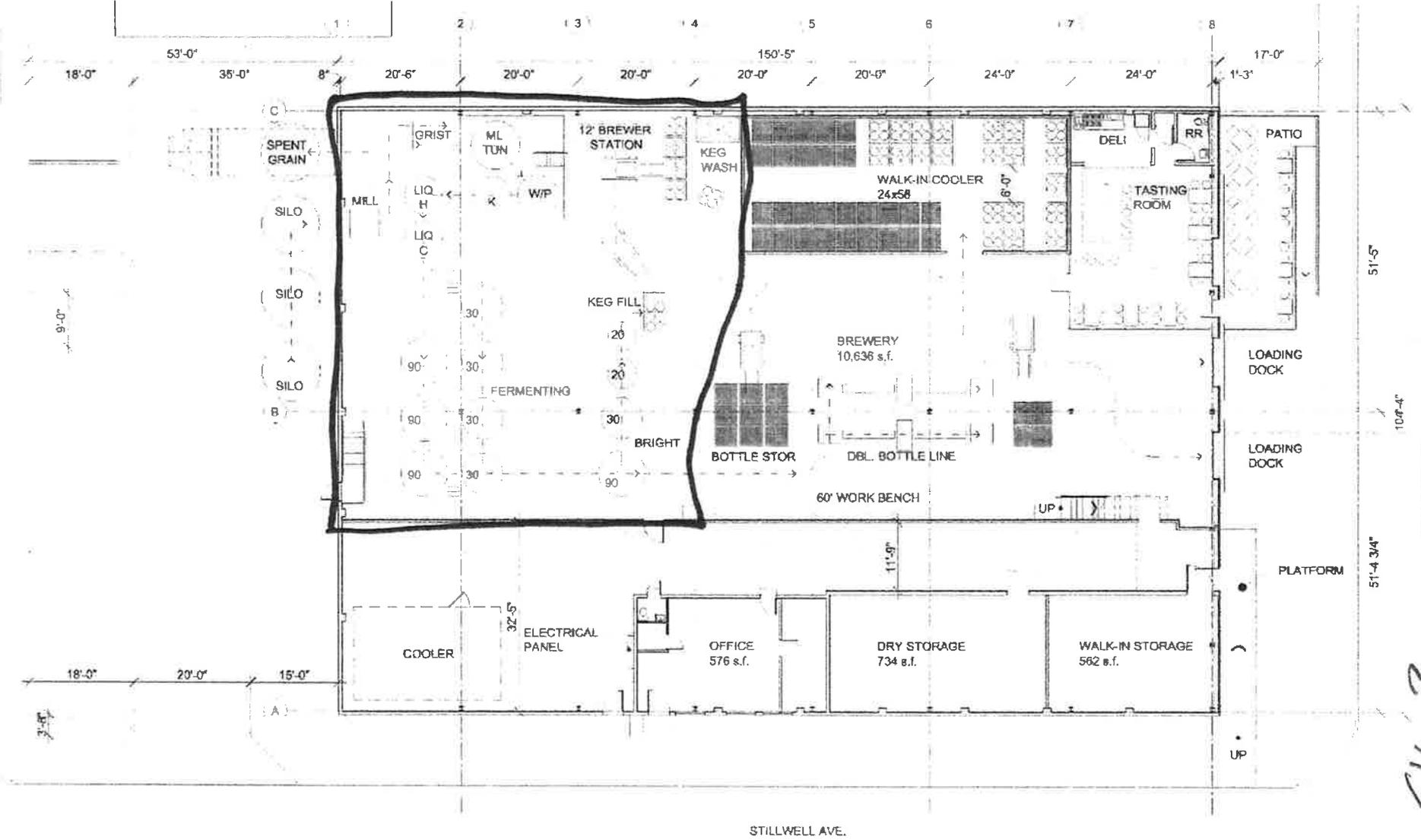


FIG. 3



**PELICAN BREWERY**

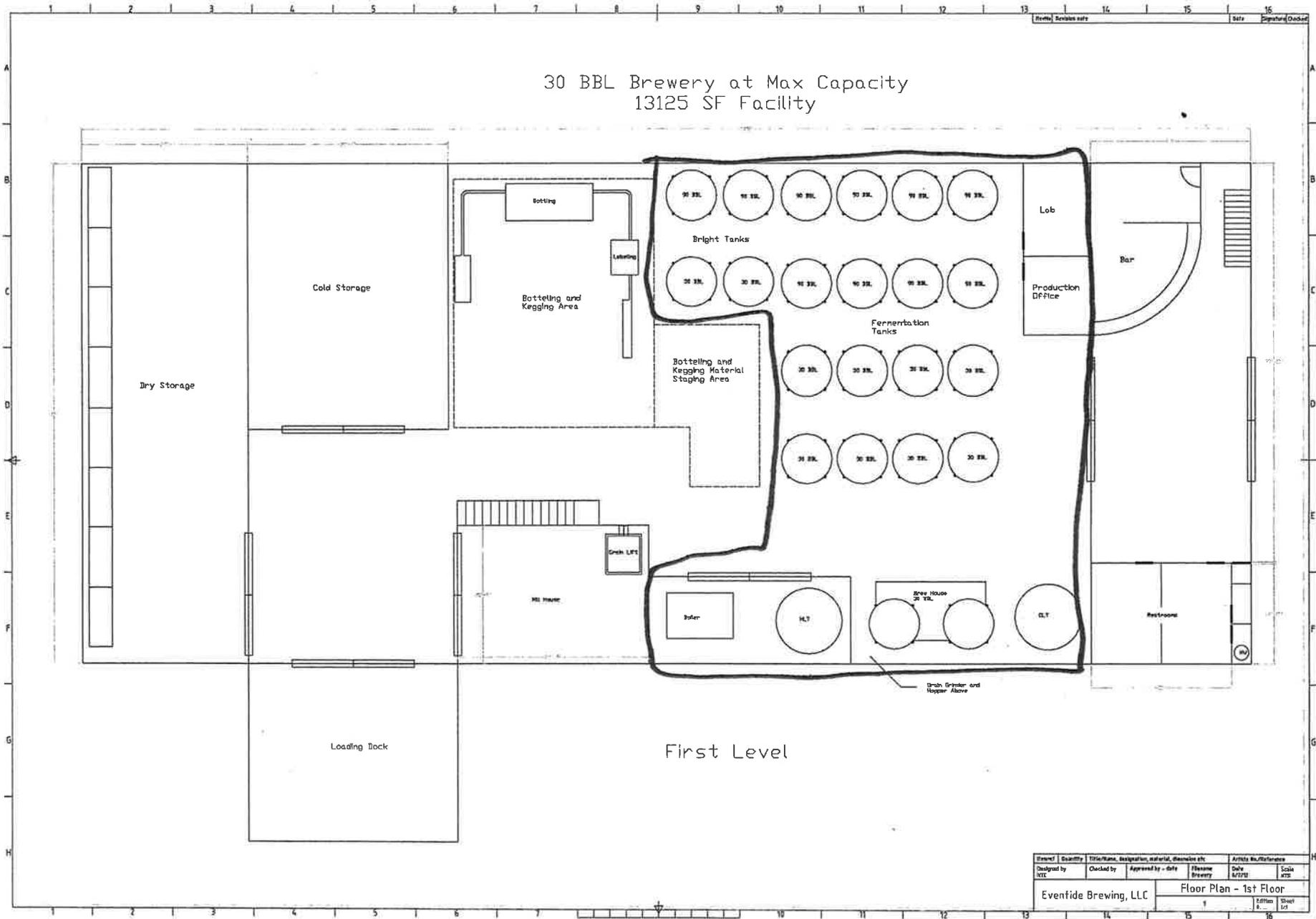
TILLAMOOK, OR 4 STILLWELL AVE GROUND FLOOR PLAN



Proj. # 1208 November 20, 2012



30 BBL Brewery at Max Capacity  
13125 SF Facility

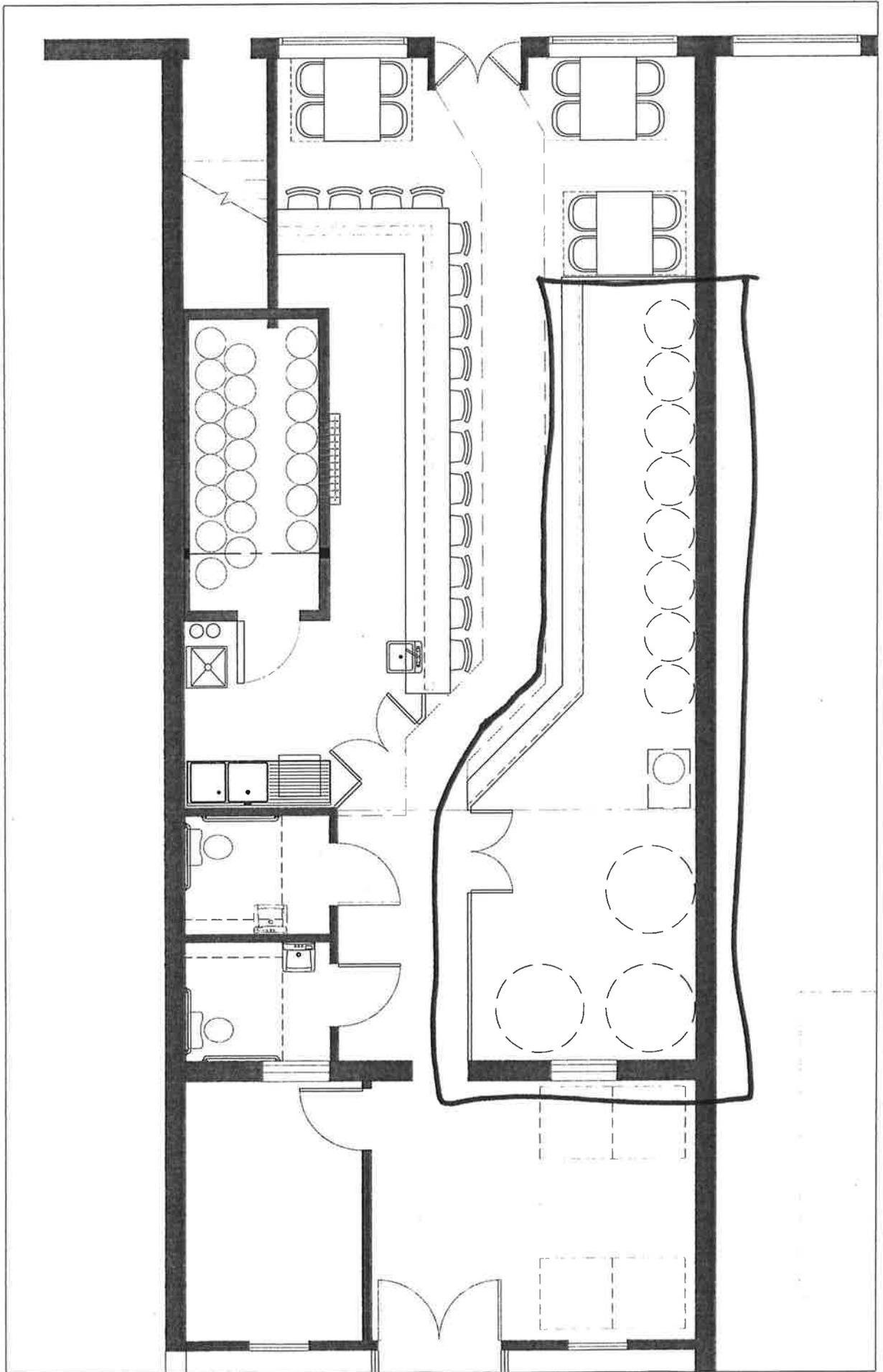


First Level

P16.4

Drawn	Quantity	Title/Name, Description, material, dimension etc	Artist, Multi/Version
Designed by	Checked by	Approved by - date	Release
DATE	DATE	DATE	DATE
Eventide Brewing, LLC		Floor Plan - 1st Floor	
		Sheet	1st

F16.5



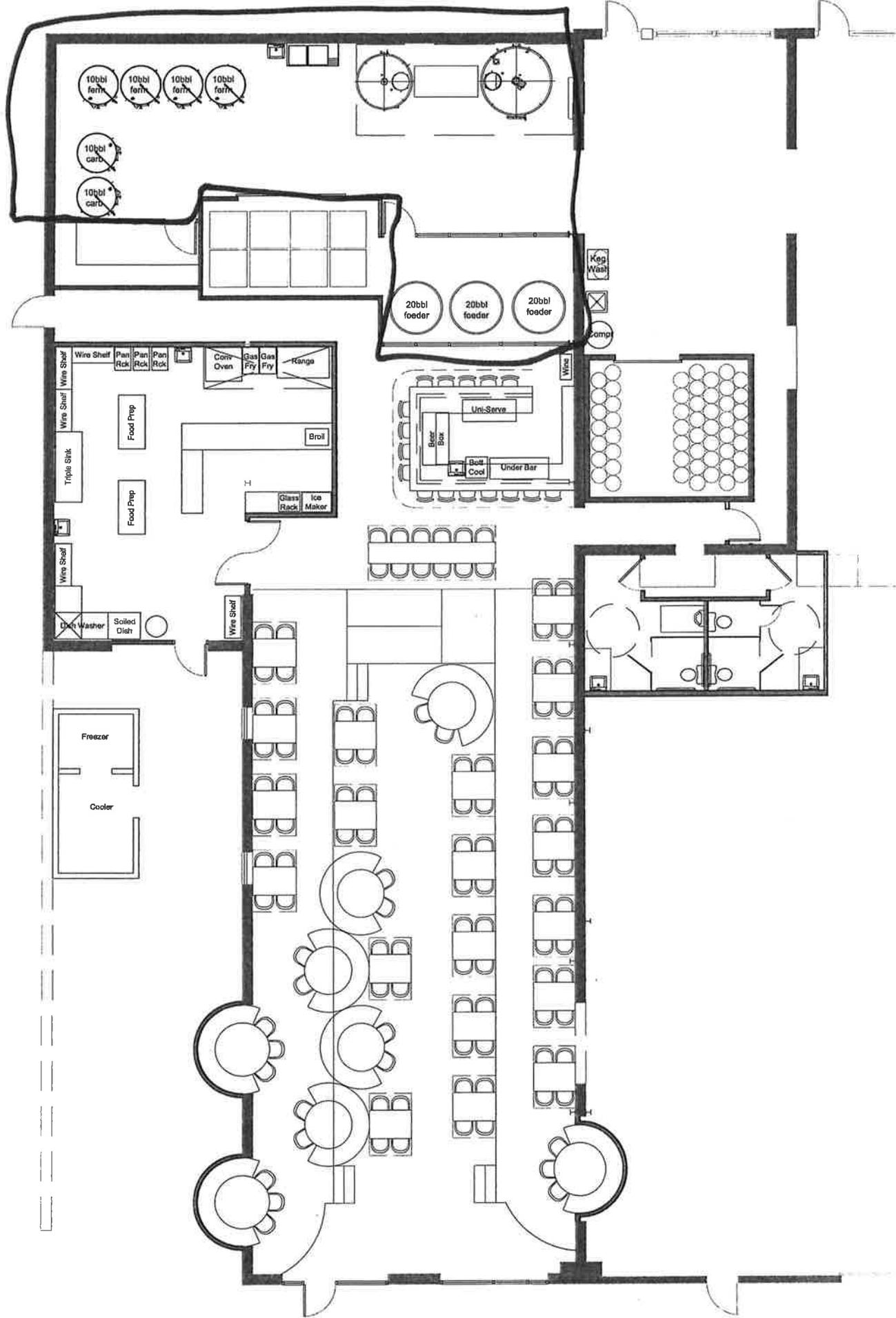


FIG. 6

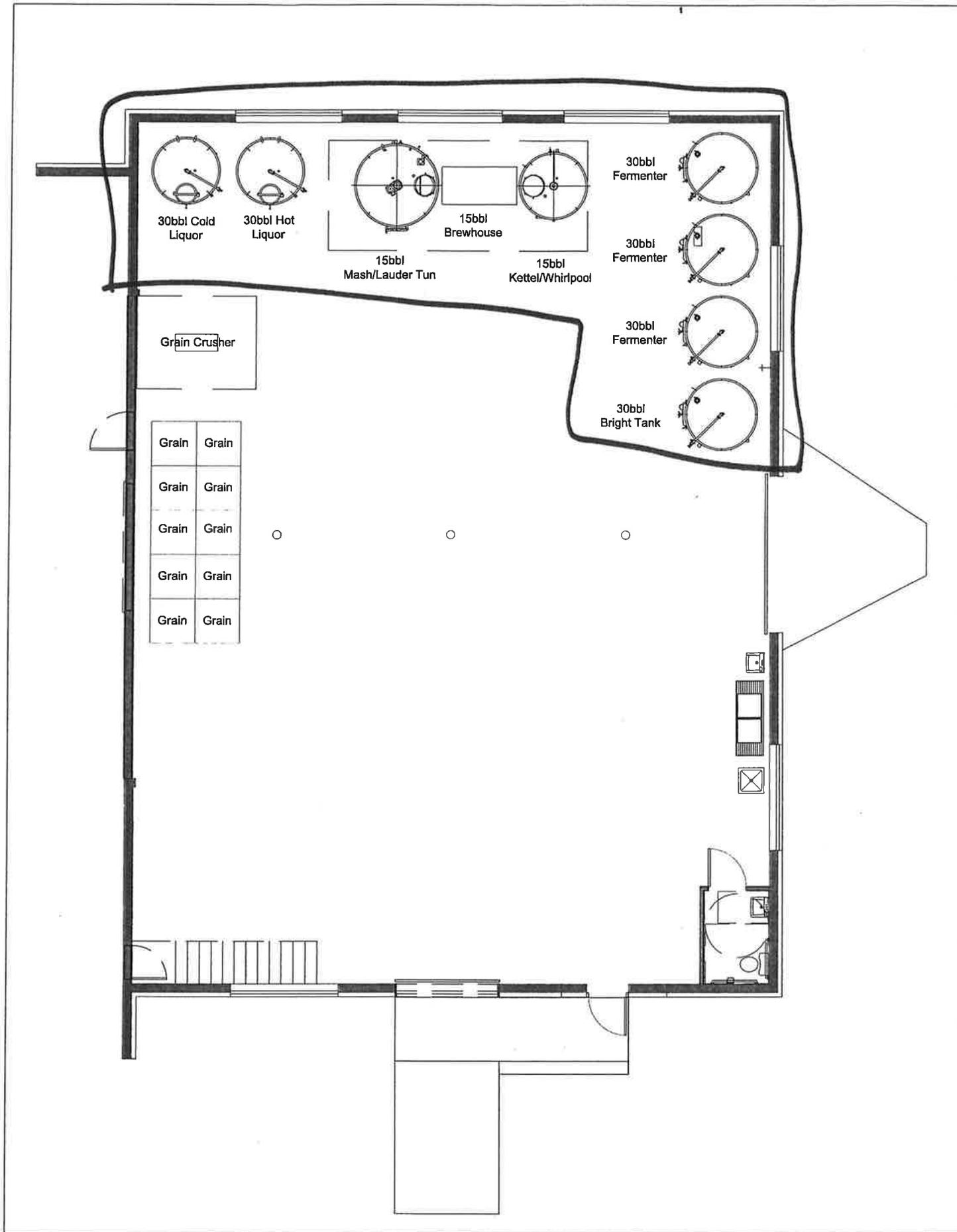
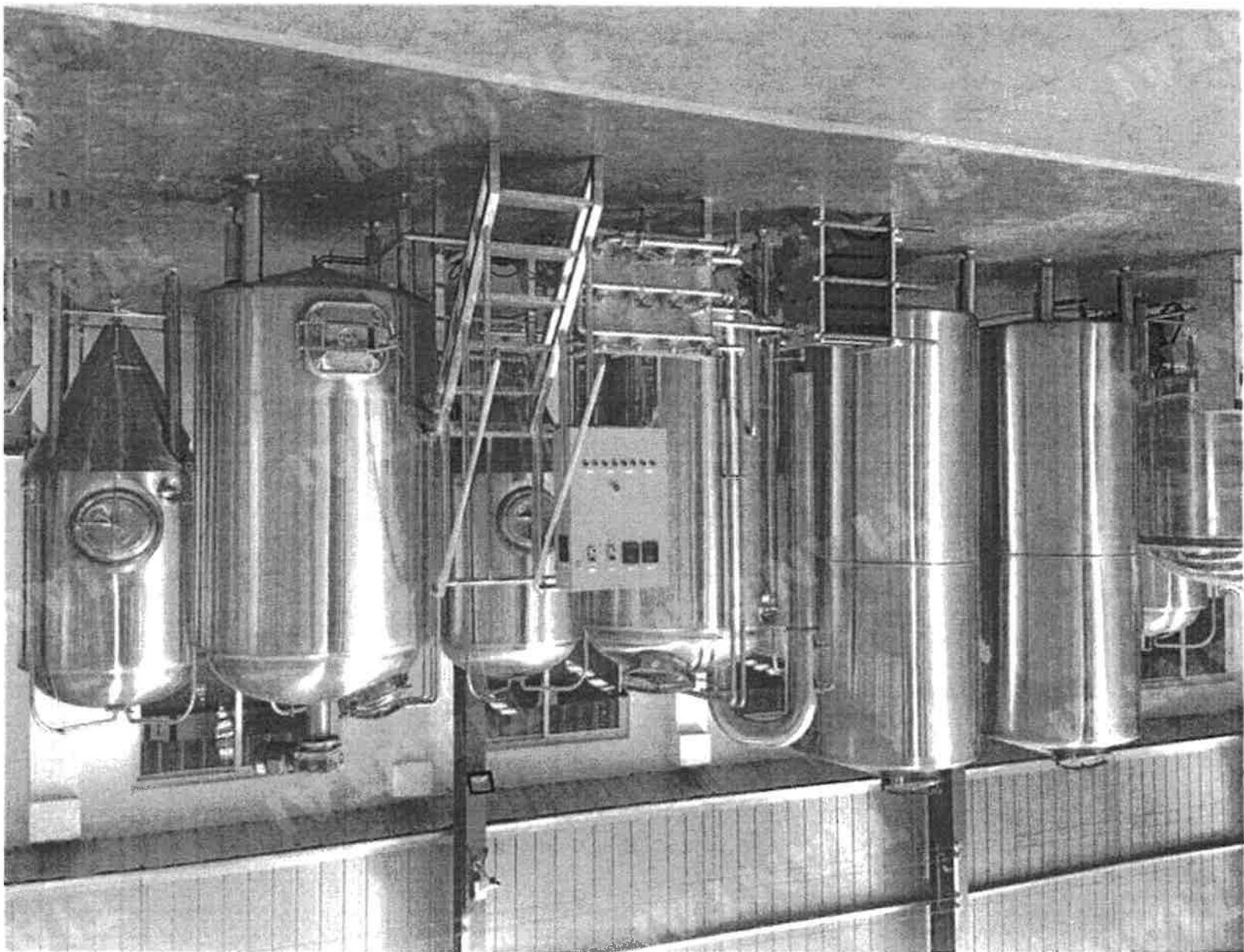
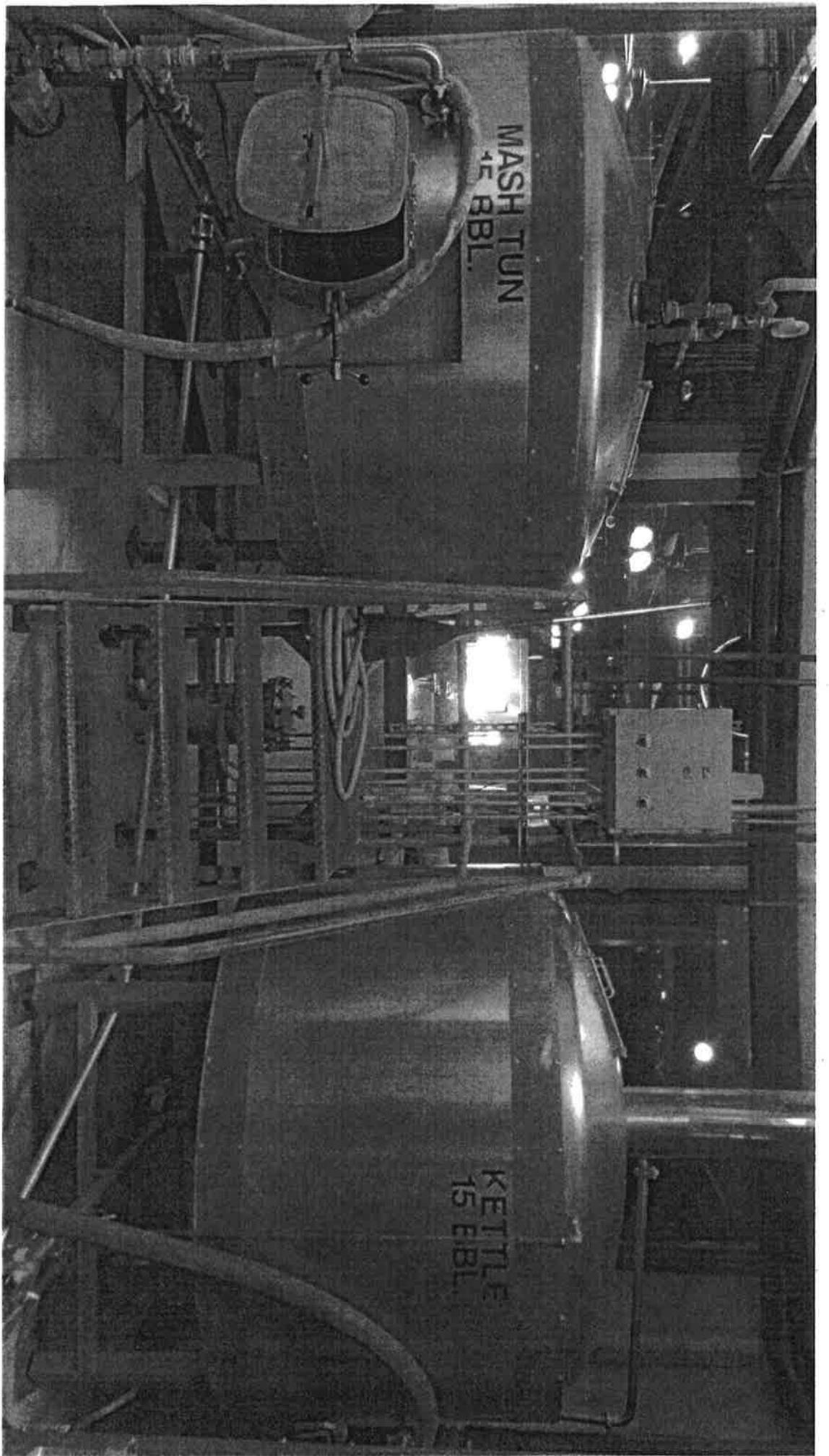


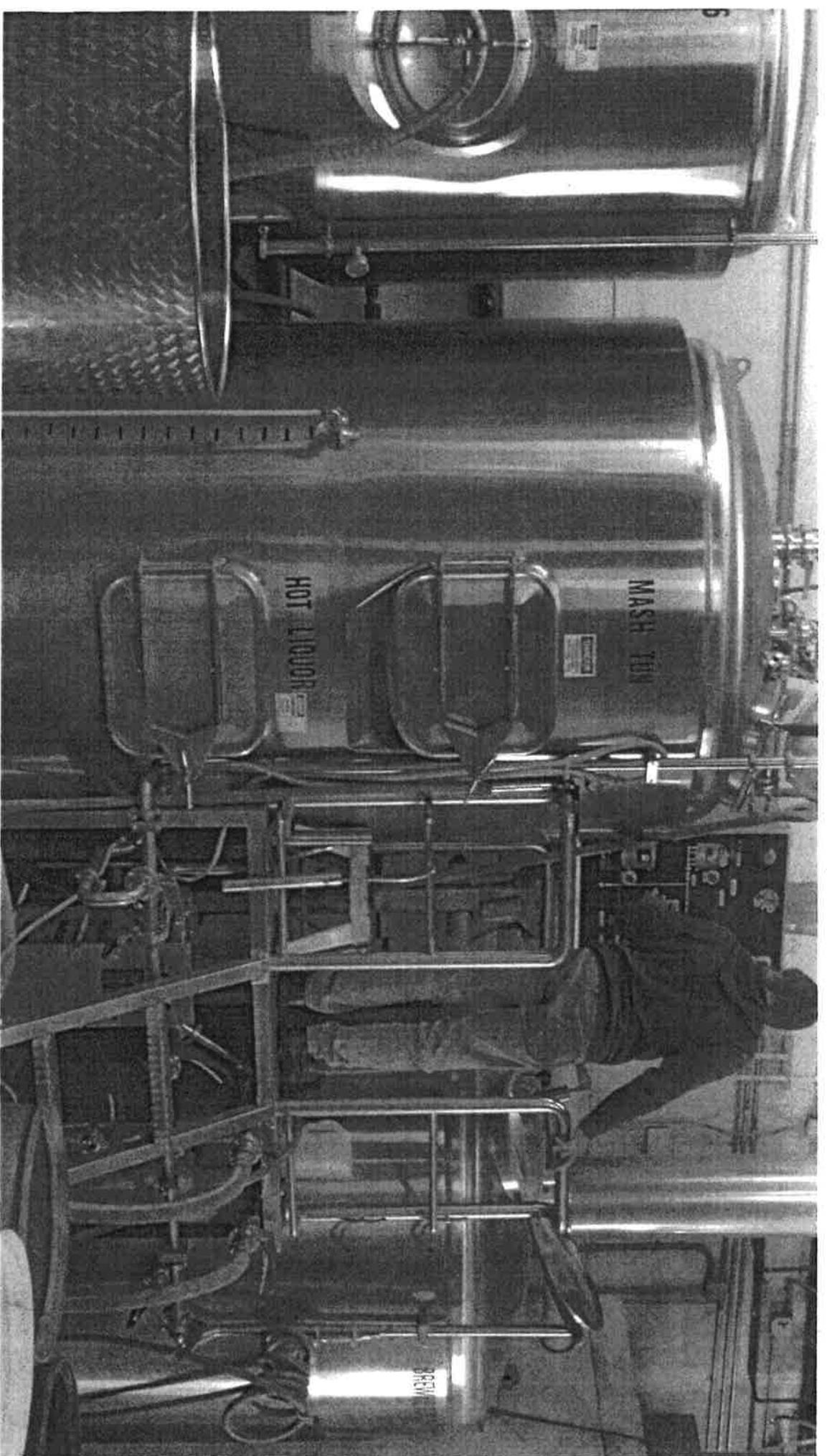
FIG. 7

FIG. 8





F16.9



F16.10



FIG 11



FIG 12

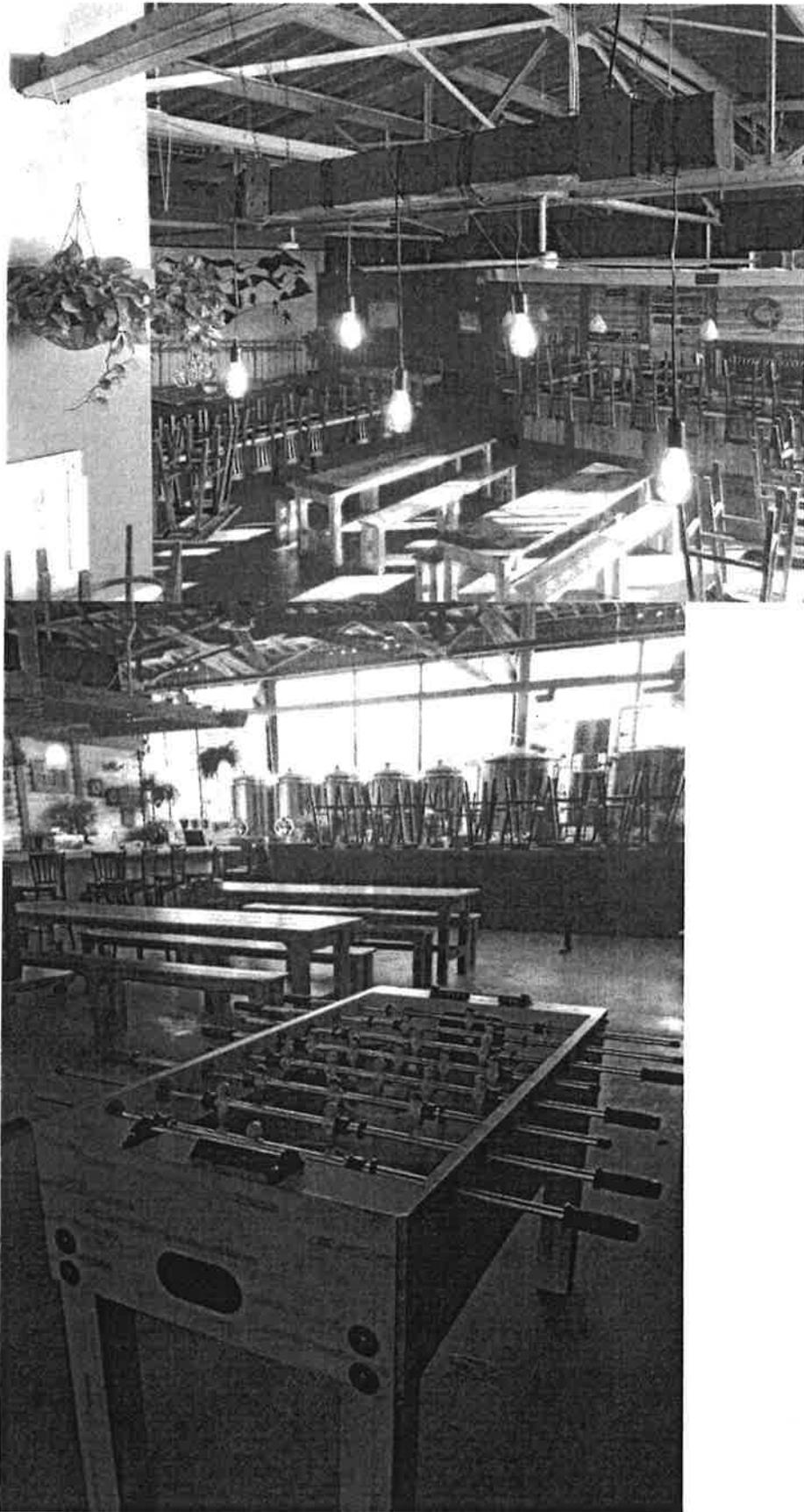


FIG 13