

A G E N D A
FARRAGUT MUNICIPAL PLANNING COMMISSION

April 21, 2016
7:00 p.m. Farragut Town Hall

For questions please either e-mail Mark Shipley at mark.shipley@townoffarragut.org or Ashley Miller at ashley.miller@townoffarragut.org or call them at 865-966-7057.

- 1. Citizen Forum**
- 2. Approval of agenda**
- 3. Approval of minutes – March 17, 2016**
- 4. Discussion and public hearing on a plat of correction for Phase II of the Cottages at Pryse Farm Subdivision, Parcels 1-24, Group D, Tax Map 162B and Parcel 8.01, Tax Map 162, 4.78 Acres, 24 Lots, Zoned R-1/OSMR (Wilcox Development, LLC, Applicant)**
- 5. Discussion and public hearing on a site plan for O'Reilly Auto Parts, Parcel 36, Group B, Tax Map 143G, Zoned C-1, located at 10870 Kingston Pike, 1.04 Acres (Thornton Drive, LLC, Applicant)**
- 6. Discussion on a request to rezone Parcel 59.07, Tax Map 152, located at 11739 Turkey Creek Road, approximately 16.38 Acres, from R-1 to R-3 (Site Incorporated, Applicant)**
- 7. Discussion on a request to amend the front yard setback provisions in commercial zoning districts (MBH, Inc., Applicant)**
- 8. Discussion of creating a Mixed Use/Neighborhood Commercial District**
- 9. Discussion and public hearing on the FY 2017 Capital Investment Plan**
- 10. Public hearing on proposed locations for new utilities**

It is the policy of the Town of Farragut not to discriminate on the basis of race, color, national origin, age, sex, or disability pursuant to Title VI of the Civil Rights Act of 1964, Public Law 93-112 and 101-336 in its hiring, employment practices and programs. To request accommodations due to disabilities, please call 865-966-7057 in advance of the meeting.



**MINUTES
FARRAGUT MUNICIPAL PLANNING COMMISSION**

March 17, 2016

MEMBERS PRESENT

Rita Holladay, Chairman
Ed St. Clair, Vice-Chairman
Ed Whiting, Secretary
Ralph McGill, Mayor
Betty Dick
Annette Brun
Rose Ann Kile

MEMBERS ABSENT

Noah Myers
Louise Povlin, Alderman

Staff Representative: Mark Shipley, Community Development Director
Ashley Miller, Assistant Community Development Director

Chairman Holladay called the meeting to order at 7 p.m.

CITIZEN FORUM

Mayor McGill introduced Rose Ann Kile as the new planning commissioner.

APPROVAL OF AGENDA

Staff asked the planning commissioners if they would be okay with switching agenda items 6 and 7 so that the discussion of the Mixed Use Neighborhood would be last on the agenda. Commissioner St. Clair moved to approve the March 17, 2016 agenda with agenda item #'s 6 and 7 being switched. Motion was seconded by Commissioner Dick and the motion passed unanimously.

APPROVAL OF MINUTES

Commissioner St. Clair moved to approve the February 18, 2016 minutes. Commissioner Dick seconded the motion and the motion passed 6-0-1 with Commissioner Brun abstaining because she was absent.

AGENDA ITEMS

DISCUSSION AND PUBLIC HEARING ON A REQUEST TO AMEND THE 2012 COMPREHENSIVE LAND USE PLAN FOR PARCEL 117, TAX MAP 142, LOCATED AT THE INTERSECTION OF N. CAMPBELL STATION ROAD AND HERRON ROAD, APPROXIMATELY 4.5 ACRES, FROM VERY LOW DENSITY RESIDENTIAL TO CIVIC/INSTITUTIONAL (Peter Falk for Autumn Care II, LLC, Applicant)

Staff reviewed this item and recommended approval because the Civic Institutional land use designation was consistent with much of the existing plan of development along this section of N. Campbell Station Road.

After a brief discussion a motion was made by Commissioner Whiting to approve the requested amendment to the future land use map in the CLUP. Motion was seconded by Commissioner St. Clair and motion passed unanimously.

DISCUSSION AND PUBLIC HEARING ON A REQUEST TO REZONE PARCEL 117, TAX MAP 142, LOCATED AT THE INTERSECTION OF N. CAMPBELL STATION ROAD AND HERRON ROAD, APPROXIMATELY 4.5 ACRES, FROM R-2 TO S-1 (Peter Falk for Autumn Care II, LLC, Applicant)

Staff recommended approval of Resolution PC-16-06 which recommends approval of Ordinance 16-07.

A motion was made by Commissioner St. Clair to approve Resolution PC-16-06. Motion was seconded by Commissioner Brun and motion passed unanimously.

DISCUSSION OF THE FARRAGUT ARCHITECTURAL DESIGN STANDARDS DESIGN REVIEW CHECKLIST

For discussion purposes only.

DISCUSSION OF CREATING A MIXED USE NEIGHBORHOOD COMMERCIAL DISTRICT

For discussion purposes only.

PUBLIC HEARING ON PROPOSED LOCATIONS FOR NEW UTILITIES

None at this time

ADJOURNMENT

The meeting adjourned at 8:53 p.m.

Edwin K. Whiting, Secretary

MEETING DATE: April 21, 2016

REPORT TO THE FARRAGUT MUNICIPAL PLANNING COMMISSION

PREPARED BY: Mark Shipley, Community Development Director

SUBJECT: Discussion and public hearing on a plat of correction for Phase II of the Cottages at Pryse Farm Subdivision, Parcels 1-24, Group D, Tax Map 162B and Parcel 8.01, Tax Map 162, 4.78 Acres, 24 Lots, Zoned R-1/OSMR (Wilcox Development, LLC, Applicant)

INTRODUCTION AND BACKGROUND: The final plat for Phase II of the Cottages at Pryse Farm Subdivision was approved on November 19, 2015. Since that time the plat has been recorded and house sites have been staked. During the process of laying out the house locations it was discovered that some of the graded drainage ways would encroach into portions of platted building envelopes.

The applicant is requesting a plat of correction to adjust the building envelopes in Phase II to address this conflict with the drainage. In general the envelopes will move slightly forward toward the street. The setback requirements will still be satisfied and the modification would, in the staffs' view, be materially insignificant. Nevertheless, the Cottages at Pryse Farm Subdivision HOA must be made aware of these modifications and any applicable approvals from the HOA must be obtained.

RECOMMENDATION: Included in your packet is a copy of the revised plat of correction and the staffs' comments on the initial plat that was submitted. The staff will make a recommendation at the meeting based on whether the initial comments have been satisfactorily addressed.

Robert G. Campbell & Associates

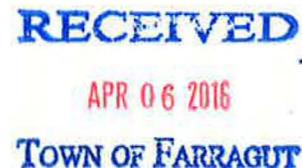


7523 Taggart Lane
Knoxville, TN 37938
865-947-5996
fax 865-947-7556

April 5, 2016

Mark Shipley
Town of Farragut
1408 Municipal Center Drive
Farragut, TN 37934

Re: The Cottages at Pryse Farms
Phase 2 Plat of Re-Subdivision
RGC #13011



Dear Mr. Shipley:

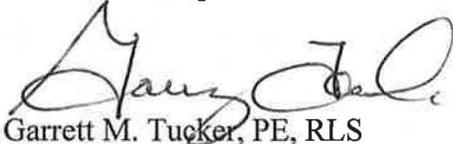
Enclosed are 4 full size copies and one reduced size copy of the plat listed above. The comments listed in your email correspondence of March 31, 2016 have been addressed as follows:

1. Please include a numbered note which describes the purpose of the plat; ***See Note 18.***
2. Please revise any applicable plat notes per the modifications reflected on this plat; ***Previous applicable notes are included and revised as per this plat.***
3. Please note that the Town only assumes liability within the platted driveway/walking trail and bike path easement. The Town does not accept maintenance within this joint use easement area. This needs to be reflected in a plat note; ***See Note 9.***
4. Is Lot 100R being modified? It is listed as Lot 100R1 which implies it is being modified. If so, it will need to be shown similar to the recorded plat for Phase 2; ***After the Phase 2 plat was recorded, Lot 100R was included again under the Phase 3 plat as Lot 100R1, this is most current lot number and instrument number.***
5. Please include the setback requirements for the R-1/OSMR in a plat note; ***Note 17 references the R-1/OSMR building setbacks.***
6. Please obtain the necessary HOA approval for the modifications to the lot lines and building envelopes; ***To be provided by Wilcox Development.***

7. Given the number of lines on this plat it might be helpful to call out and label the building envelopes; ***This has been done.***
8. Lot 39R is platted with a building envelope that is within 30 feet from the right of way. This is fine since the driveway will be entering from the rear side of the lot; ***Acknowledged.***
9. Please update the certificates to reflect this plat of correction. It does not involve Phase 3; ***This has been done.***

Please let us know if there are any other questions or comments regarding this plat.

Sincerely,
Robert G. Campbell & Associates, L.P.

A handwritten signature in black ink, appearing to read "Garrett M. Tucker". The signature is fluid and cursive, with a large initial "G" and "T".

Garrett M. Tucker, PE, RLS
Project Engineer

Cc: Wilcox Development

MEETING DATE: April 21, 2016

REPORT TO THE FARRAGUT MUNICIPAL PLANNING COMMISSION

PREPARED BY: Mark Shipley, Community Development Director

SUBJECT: Discussion and public hearing on a site plan for O'Reilly Auto Parts, Parcel 36, Group B, Tax Map 143G, Zoned C-1, located at 10870 Kingston Pike, 1.04 Acres (Thornton Drive, LLC, Applicant)

INTRODUCTION AND BACKGROUND: The property that is the subject of this site plan is situated at the east intersection of Kingston Pike and Thornton Drive. Many years ago, the property was used as an automobile service facility.

O'Reilly's Auto Parts is now interested in completely redeveloping this property with a new building and new site improvements. As part of this development the existing billboard on the northeast portion of the property will be removed. O'Reilly's is proposing a full access onto Thornton Drive and a right out only access onto Kingston Pike. Due to proximity to existing accesses along Kingston Pike, this right out only access will require a variance from the Driveways and Other Accessways Ordinance. The minimum separation between accesses on an arterial street is 400 feet. As proposed, the right out access is roughly 200 feet from the existing Thornton Drive access point and at a slight offset to the Newport Road access on the north side of Kingston Pike. Stormwater detention is proposed to be accommodated underground.

RECOMMENDATION: Included in your packet is the revised site plan along with the staffs' comments on the initial site plan that was submitted. The staff will make a recommendation at the meeting based on whether the initial comments have been satisfactorily addressed. Of note, one design standard comment that remains outstanding is to modify the red color on the building to something that is in the earth tone family of colors. As an example, a rust color could be substituted for the red. The staff has included in the packet some other O'Reilly's stores where the red color has not been used.



Civil Engineers

March 30, 2016

Mark Shipley
Town of Farragut
11408 Municipal Center Dr.
Farragut, TN 37934

Re: Staff comments on site plan for O'Reilly Auto Parts, 10870 Kingston Pike

Dear Mark,

Please find attached our revised plans per staff comments dated 08/01/11. We have provided responses to staff comments below. **Additionally, we have revised the drainage along Kingston Pike due to conflicts with existing utilities that we were made aware of after our initial plan submittal.**

Fire Division: (Contact Dan Johnson at dan.johnson@townoffarragut.org)

1. Please confirm, in accordance with item 86 on the site plan application, there are no obstructions within 13'6" or lower in order to maintain fire apparatus access.
There are no obstructions within 13'-6" or lower.
2. Please complete item 91 of the site plan application. Provide fire hydrant flow data <12 months old, including date time and name of testing agency.
We have added fire flow data for the existing hydrant located on the west side of Thornton Drive. See Sheet C5.0
3. Please complete item 95 of the site plan application. Provide a summary, on the drawings, of the calculated fire flow requirements and confirmation it is being met by the proposed fire hydrants.
We have added a table with the calculated fire flow requirements and confirmation. Additionally we have added a fire hydrant along Kingston Pike. See sheet C5.0
4. Please provide a list of hazardous materials and quantities, to evaluate any potential need for additional fire protection features.
Please find list of hazardous materials attached.

Planning Division: (Contact Mark Shipley at mshipley@townoffarragut.org or Ashley Miller at amiller@townoffarragut.org)

5. A discussion is needed on whether the access onto Thornton Drive can be aligned with the existing access on the west side of Thornton Drive in a manner that minimizes impact to the required buffer strip and the large maple tree within the buffer strip.
This was discussed with Town staff and no changes have been made to the site plan.
6. As part of the site plan regulation in the zoning ordinance, access is an element of site plan consideration. The proposed access to Kingston Pike violates the Town's Driveways and Other Accessways Ordinance and if it remains part of the plan would require a variance request from the distance between driveways requirement in the Driveways and Other Accessways Ordinance.
We would like to request a variance from the distance between driveways requirement.

7. If a right out only access is approved as part of a variance request please make the turning movement more pronounced so as to further deter someone from making inappropriate turns into and out of the property.
We have made the right out only driveway more pronounced. See sheets C3.0 and C4.0.
8. Because the site plan for the new development violates one of the Town's zoning restrictions, if the proposed access to Kingston Pike remains part of the plan, the billboard on the property would need to be removed. Please reflect this on the site plan.
We are proposing to remove the billboard as a part of this project. See note on sheet C4.0.
9. Consistent with the Architectural Design Standards (ADS) that are now required in the Town, please provide a stubbed out connection to the property to the east.
We would like to request a variance from this requirement due to topography. We will provide an easement on the Final Plat that will allow future access from the property to the east should it ever redevelop.
10. Please extend the sidewalk across the entire Kingston Pike frontage of the property.
We received a variance from the BZA on 03/23/16 allowing us to omit the section of sidewalk to the east of the proposed driveway.
11. Please include a color rendering of all elevations of the building and verify, consistent with Standard 2.17 of the ADS, that the net façade area contains at least 60% masonry material (brick and/or stone). Masonry should be concentrated on the more visible elevations.
We provided an 11x17 color rendering of all elevations and a 24x36 in black and white which show the calculations for net area of masonry material. If my understanding from staff that the red EFIS would not be permitted. The architect will need to get approval from the tenant for a change in color to a more muted "earth tone". We expect to receive a revised color rendering in the next few days and will submit to you. See sheets A3 and A3.A.
12. Consistent with Standard 1.21 of the ADS (Minimize the visual impact of surface parking), the long rows of parking should be divided into smaller pods.
Per discussion with Town staff, we have added landscaping (shrubs) along the Kingston Pike frontage to minimize the impact of the surface parking. See sheet C6.0.
13. Please ensure that the parking lot islands (please review the pinch points) are at least 5 feet in width.
We widened the island at the northwest corner of the building to 5'. See sheet C4.0
14. Consistent with Standard 1.30 of the ADS, please locate the dumpster away from residential areas and so that it is not visible from the public right of way. Please consider placing the building closer to the street so that the placement of the dumpster can be arranged in a less visible location and further away from the residential area.
We have discussed this with Town staff and have agreed that the location of the dumpster enclosure is in the best location given the site constraints. Additionally, we have added additional plantings within the buffer to help minimize impacts to the residential area.
15. Consistent with Standard 1.33 of the ADS, please enclose the dumpster area with an opaque wall of durable high quality material that is consistent with the predominant building material.
We have provided a masonry dumpster enclosure. See detail on sheet C4.1.
16. Consistent with Standard 1.17 of the ADS, please preserve and maintain mature trees (this could be more likely accomplished with a relocation of the building and parking). There are a number of mature trees on the southeast side of the property that are shown to be removed and that could reasonably be saved since they are along the periphery. There appear to be two trees within the

35 foot buffer area that are proposed to be removed. Please note that existing trees shall be preserved within the buffer strip area.

We received a variance from the BZA on 3/23/16 to allow us to remove the 10" tree while preserving the 18" tree with a low retaining wall. Additionally we agreed to plant the 35' buffer strip with the quantity of plant materials required for a 50' buffer.

17. Consistent with Standard 1.35 of the ADS, please incorporated low impact development (LID) principles to address storm water. This could lessen development costs by reducing the size of underground storage.

We have incorporated additional landscape plantings on the site to lessen the impacts of the development.

18. Standard 2.6 of the ADS may need to be discussed further in relation to this building. This provides for an iconic design feature.

We feel a bold and defined entrance has been provided through our use of the red EFIS portal. We feel the color and material change, as well as the solid row of storefront glass within the legs of the portal, all create a bold statement that designates the entry point. See sheets A3 and A3.A

19. Please correct the quantities in the light fixture table to reflect the number that is being provided.
The table has been revised to show the correct quantities. See sheet SP1.

20. One of the foot-candles along the south property line exceeds the .5 that is permitted. Please correct.

Photometrics have been revised. See sheet SP1.

21. Please include a cross section of the light pole showing compliance with the permitted height.

Cross section of the light pole has been added. See sheet SP1.

22. Sheet 17 shows that the HVAC units are visible on the roof. Please extend the parapet height so that they are not visible on the roof.

The line of site drawing illustrates that with the current parapet heights, the RTU's will not be visible from ground level at the property lines on each side of the building. Upon further discussion with Town staff, we will reevaluate to be assured all of the roof top units will be screened by the parapets. See sheet A3.B.

23. Please consider tightening the radius for the exit onto Thornton Drive.

Upon discussion with Town staff, we feel the radius is ok as shown on sheet C4.0.

24. A landscape plan will be needed for consideration by the VRRB.

We have included a copy of the landscape plan in the site plan resubmittal. We will also submit to VRRB on 4/11/16.

25. Please submit a plat at the appropriate time for the dedication of the additional ROW areas.

We will submit a plat prior to C.O.

26. Please remove the note "Preliminary – Not for Construction or Permit" from the architectural pages and ask the architect to seal and sign the plans.

Sheets A3, A3.A and A3.B have been sealed. A note has been added stating "Not for construction: for permitting and city review purposes only"

27. Please add the following note to the site plan, "all walking facilities (walking trails/sidewalks) must be coordinated with town staff prior to construction".

Note has been added to sheet C4.0.

Engineering Division: (Contact Darryl Smith at Darryl.smith@townoffarragut.org)

28. Staff can support a variance for the Kingston Pike driveway, as it is "right-out only". However, the "right-out" should be made more severe to prevent left turns onto Kingston Pike and entrance from Kingston Pike. A short taper toward the east may assist. Add "No left turn" sign prior to Stop at Kingston Pike.

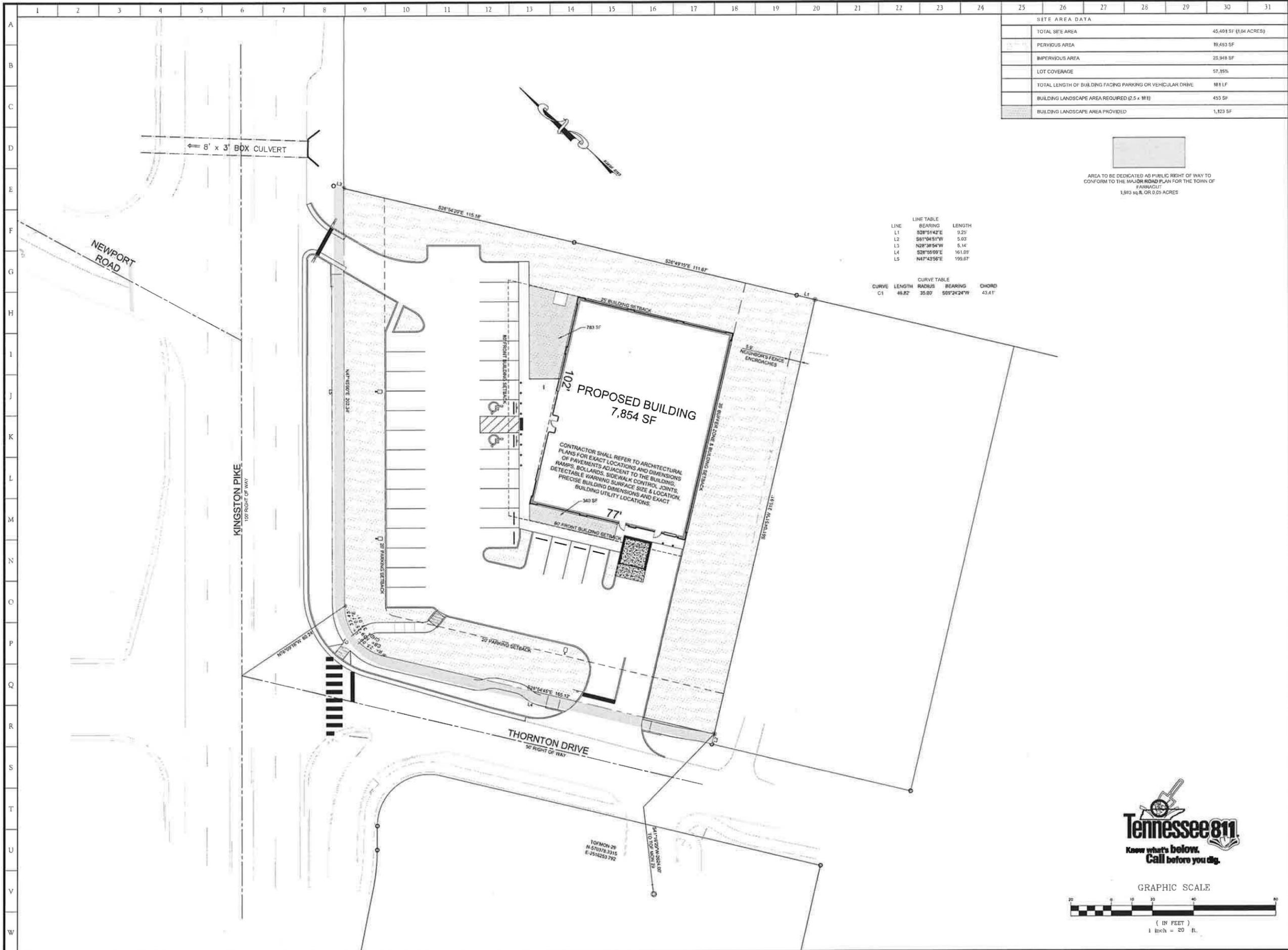
- We have revised the angle of the driveway to make it more severe. Due to existing topography and drainage ways, we cannot add the short taper as discussed with Town staff. We have added the "No left turn" sign. See sheets C3.0 and C4.0.**
29. Check size of swale along eastern side of the site, which drains a substantial watershed from the south (toward Kingston Pike). Please confirm this drainage way will accommodate the flow.
We will not be altering the size or flow characteristics of the existing drainage swale. See sheet C3.0
30. Please show electric, cable, and telephone services on utility sheet.
Sheet US1 has been added to the set to show the electric, cable, and telephone services. We have provided a note on sheet C5.0 to see sheet US1 for electric, cable, and telephone services.
31. Please submit LOC for Erosion Control for \$6000.
OK
32. Please submit Drainage Fee of \$514.
OK
33. Please submit TDOT driveway permit, and
We will need to include approval letter from the Town with our submittal to TDOT for a driveway permit.
34. Please submit NOC.
OK

Please let us know if any of our responses are unclear or if you need additional information.

Sincerely,

A handwritten signature in blue ink, appearing to read "Annette Hommel". The signature is fluid and cursive, with a long horizontal flourish extending to the right.

Annette Hommel, P.E.



SITE AREA DATA	
TOTAL SITE AREA	45,401 SF (1.04 ACRES)
PERVIOUS AREA	19,453 SF
IMPERVIOUS AREA	25,948 SF
LOT COVERAGE	57.15%
TOTAL LENGTH OF BUILDING FACING PARKING OR VEHICULAR DRIVE	181 LF
BUILDING LANDSCAPE AREA REQUIRED (2.5 x 181)	453 SF
BUILDING LANDSCAPE AREA PROVIDED	1,123 SF

AREA TO BE DEDICATED AS PUBLIC RIGHT OF WAY TO CONFORM TO THE MAJOR ROAD PLAN FOR THE TOWN OF FARRAGUT
1,983 sq. ft. OR 0.05 ACRES

LINE TABLE			
LINE	BEARING	LENGTH	
L1	S28°51'42"E	9.25'	
L2	S61°04'51"W	5.03'	
L3	N28°38'54"W	5.14'	
L4	S28°55'09"E	161.09'	
L5	N41°43'56"E	199.67'	

CURVE TABLE				
CURVE	LENGTH	RADIUS	BEARING	CHORD
C1	46.82'	35.00'	S09°24'24"W	43.41'

SITE INCORPORATED
Civil Engineers & Surveyors
10215 Technology Drive, Suite 304
Knoxville, TN 37932
Phone: (865) 777-4160 Fax: (865) 777-4189



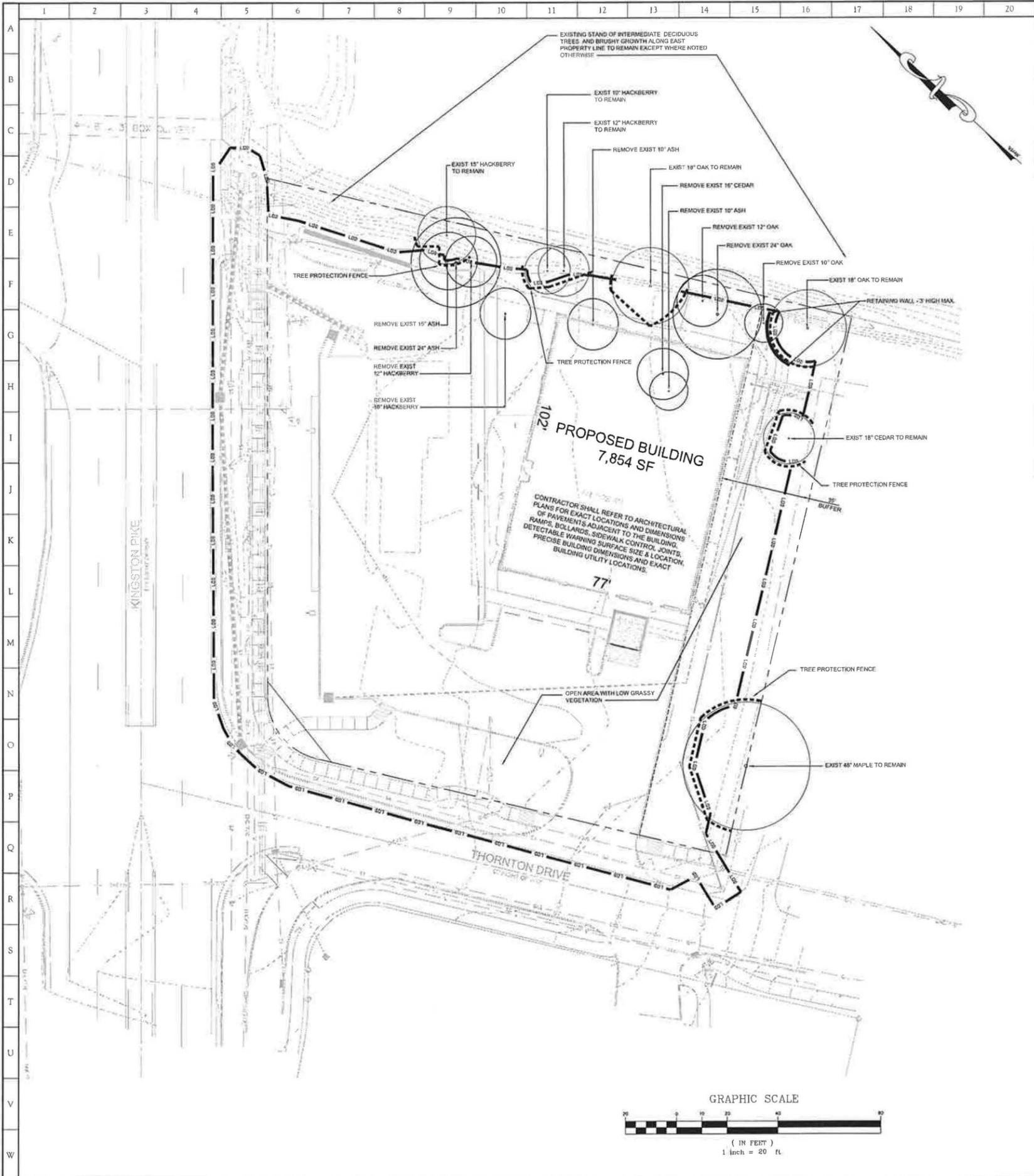
Site Area Plan
O'Reilly Auto Parts
10870 Kingston Pike
6th Civil District, Knox County
Farragut, Tennessee

DATE: 02/12/16
CHECKED BY: JRA FILE: 1873-Layout

REVISIONS		
NO.	DATE	COMMENTS
1	02/12/16	REVISED PER TOR COMMENTS

Tennessee 811
Know what's below. Call before you dig.

GRAPHIC SCALE
(IN FEET)
1 inch = 20 ft.



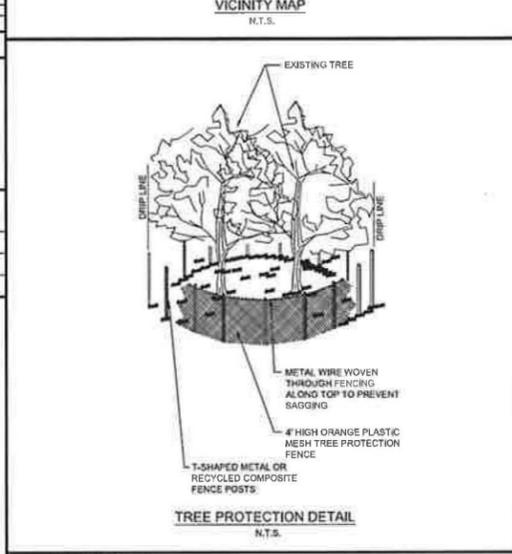
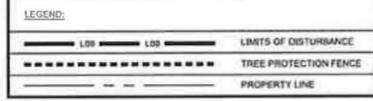
TREE REPLACEMENT SCHEDULE

SIZE OF TREE TO BE REMOVED	TOTAL	NUMBER OF REPLACEMENT TREES REQUIRED
HARDWOOD 10" - 15" DBH	2	14
16" - 20" DBH	0	0
> 20" DBH	0	0
TOTAL HARDWOOD TREES TO BE REPLACED	22	
EVERGREEN 16" - 20" DBH	1	2
> 20" DBH	0	0
TOTAL EVERGREEN TREES TO BE REPLACED	2	
TOTAL TREES TO BE REPLACED	24	

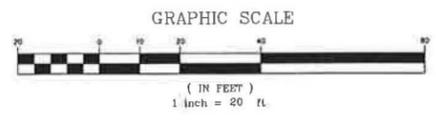
TREE CREDIT SCHEDULE

SIZE OF TREE TO BE PRESERVED	TOTAL	NUMBER OF REPLACEMENT TREES REQUIRED
HARDWOOD 10" - 15" DBH	3	12
16" - 20" DBH	2	12
> 20" DBH	1	8
TOTAL HARDWOOD TREES TO BE CREDITED	32	
EVERGREEN 16" - 20" DBH	1	2
> 20" DBH	0	0
TOTAL EVERGREEN TREES TO BE CREDITED	2	
TOTAL TREES TO BE CREDITED	34	

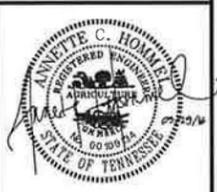
NUMBER OF REPLACEMENT TREES REQUIRED: 24
NUMBER OF CREDIT TREES PROVIDED: 34
TOTAL NUMBER OF TREES TO BE REPLACED: 0



- TREE PRESERVATION NOTES:**
- THERE ARE NO ENVIRONMENTALLY SENSITIVE AREAS ON THIS SITE.
 - TREE PROTECTION FENCING WILL BE REQUIRED AS SHOWN ON THE PLAN. PRIOR TO THE ISSUANCE OF A GRADING PERMIT, THE PROPOSED LIMITS OF DISTURBANCE MUST BE IDENTIFIED IN THE FIELD WITH THE CONTRACTOR, THE TOWN STAFF, AND THE APPLICANT'S CIVIL ENGINEER TO ASSESS THE EXACT LOCATION AND EXTENT OF TREE PROTECTIVE FENCING.
 - CONTRACTOR SHALL CONSTRUCT TREE PROTECTION FENCING TO THE DRIP LINE OF PROTECTED TREES.
 - THE LOCATION OF TREE PROTECTIVE FENCING THAT HAS BEEN APPROVED BY THE TOWN OF FARRAGUT SHALL NOT BE REMOVED OR ALTERED. ANY REMOVAL OR ALTERATION OF PROTECTIVE FENCING WILL RESULT IN A STOP WORK ORDER FOR THE ENTIRE PROJECT.
 - ALL TEMPORARY CONSTRUCTION ACTIVITIES INCLUDING, BUT NOT LIMITED TO, STORAGE OF EQUIPMENT, WORKER PARKING, AND BURN HOLES, SHALL BE CONTAINED WITHIN THE PROPOSED LIMITS OF DISTURBANCE.
 - NO ACTIVITY OR STORAGE OF ANY MATERIALS OR VEHICLES SHALL BE PERMITTED WITHIN THE AREA BOUNDED BY TREE PROTECTION FENCING.
 - ANY SPECIAL MEASURES, INCLUDING BUT NOT LIMITED TO, ROOT PRUNING OR MULCHED ASLE WAYS, NEEDED TO SAVE ANY OF THE TREES THAT ABUT THE PROPOSED AREA OF DISTURBANCE, MUST BE APPROVED BY THE TOWN OF FARRAGUT PRIOR TO ANY SPECIAL MEASURE REQUIRED. MINOR FIELD CORRECTIONS SHALL BE TAKEN AFTER INSPECTION BY THE TOWN OF FARRAGUT STAFF.
 - ARBORIST REVIEW MAY BE REQUIRED BY THE TOWN OF FARRAGUT IF IT IS DETERMINED THAT SPECIAL MEASURES ARE NEEDED TO SAVE A TREE(S) ABUTTING AN AREA TO BE DISTURBED. ARBORIST RECOMMENDATIONS, IF REQUIRED, WILL BE ADDED AS REVISIONS TO THIS PLAN.
 - WHERE TREES ARE TO BE REMOVED, SUCH TREES SHALL BE FLAGGED AND SHALL BE FELLED AWAY FROM, RATHER THAN INTO AREAS WITH EXISTING TREES AND VEGETATION TO BE PRESERVED.
 - ALL TREE DIAMETERS SHOWN ON THIS PLAN MEASURED AT 4'-6" ABOVE GROUND AS REQUIRED BY THE TOWN OF FARRAGUT TREE PROTECTION ORDINANCE.
 - PROPERTY OWNER:
THORNTON DRIVE, LLC
3102 WHEEL LAKE
POWELL, TENNESSEE, 37669
ATTN: CHRISTOPHER OOTEN
PHONE: 865-389-1802



SITE INCORPORATED
 Civil Engineers & Surveyors
 10215 Technology Drive, Suite 304
 Knoxville, TN 37932
 Phone: (865) 777-4100
 Fax: (865) 777-4189

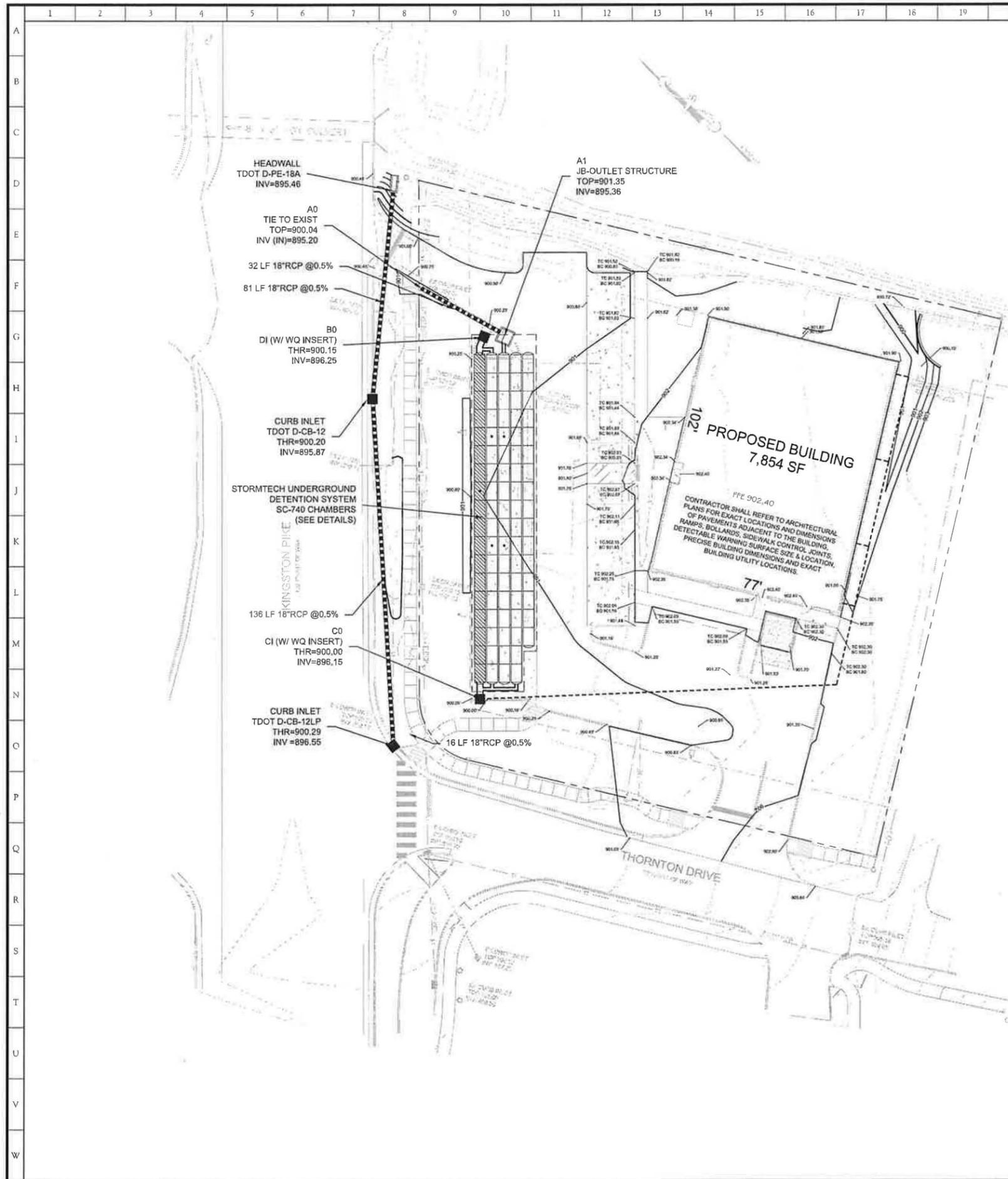


Tree Preservation Plan
O'Reilly Auto Parts
 10870 Kingston Pike
 6th Civil District, Knox County
 Farragut, Tennessee

DRAWN BY: ACH D-17E 02/12/16
 CHECKED BY: JRA FILE: 1873-Tree Pres.

NO.	DATE	COMMENTS
1	01/29/16	REVISED TOP COMMENTS





STORM DRAIN GRATE SCHEDULE:

TYPE	MODEL	USE
JB	NEENAH R-1648	JUNCTION BOX
DI	NEENAH R-3438A	DROP INLET
CB/RIGHT	NEENAH R-3501-TR	CURB INLET
CB/LEFT	NEENAH R-3501-LT	CURB INLET

- ALL STORM PIPE LOCATED WITHIN RIGHT-OF-WAY SHALL BE RCP.
- DISCHARGE PIPE FROM THE UNDERGROUND DETENTION POND SHALL BE RCP.
- ALL OTHER STORM PIPE SHALL BE SRMP OR RCP UNLESS OTHERWISE NOTED ON THE PLAN.
- PIPES 36" OR SMALLER MAY BE HDPE.
- REFER TO PROJECT SPECIFICATIONS FOR APPROVED PIPE TYPES.

SITE STORM SYSTEM NOTES:

SPIRAL RIB METAL PIPE (SRMP)
1/2" DIAMETER THROUGH 30" DIAMETER TO BE ALUMINIZED STEEL TYPE 2, 16 GAUGE, 0.04" THICKNESS WITH 3/4" X 3/4" X 1/2" EXTERNAL RIBS IN ACCORDANCE WITH APPLICABLE REQUIREMENTS OF ASTM A790 (STEEL) UNLESS NOTED OTHERWISE.

ALL PIPING SHALL HAVE "RE-ROLLED ANNULAR ENDS" FOR CONNECTIONS AND USE BANDS AT JOINTS BETWEEN PIPES UNLESS NOTED OTHERWISE.

REINFORCED CONCRETE PIPE (RCP)
ASTM C 76, CLASS III, WALL B (CLASS V UNDER RAILROADS) UNLESS NOTED OTHERWISE. TO BE INSTALLED WITH FLEXIBLE PLASTIC BITUMEN GASKETS AT JOINTS.

GASKETS SHALL CONFORM TO THE REQUIREMENTS OF ASTM C443 OR "TONGUE AND GROOVE" TYPE FILLED WITH CEMENT MORTAR.

MINIMUM COVER
MINIMUM COVER FROM TOP OF PIPE TO FINISH GRADE SHALL BE 2' - 0".

FIELD APPLIED COATINGS
WHERE WATER MAINS MUST BE CONSTRUCTED BENEATH THE STORM SEWER DUE TO LACK OF DEPTH ABOVE THE STORM SEWER (WATERLINES MUST BE LOCATED 18" ABOVE THE STORM SEWER AND SHALL HAVE 4" OF COVER OVER THE WATER MAIN) THEN "O-RING" GASKETS SHALL BE USED WITH THE HUGGER BAND COUPLING FOR A DISTANCE OF 10' ON EITHER SIDE OF THE WATERLINE.

ALL ELEVATIONS (RIM, THROAT, GRATE, TOP) AT STORM STRUCTURES ARE INTENDED TO INDICATE FLOW LINE ELEVATIONS

REFER TO SHEETS C8.0, C8.1 & C8.2 FOR GRADING AND DRAINAGE DETAILS.

CONTRACTOR SHALL BE RESPONSIBLE FOR ALL EARTHWORK REQUIRED TO PREPARE THE UNCLASSIFIED SITE TO THE LINES AND GRADES AS SHOWN ON PLANS. THIS INCLUDES, BUT IS NOT LIMITED TO, ANY QUANTITY OF IMPORT OR EXPORT OF STRUCTURAL FILL AND/OR DISPOSAL OF UNSUITABLE MATERIAL, AS REQUIRED. ALL COSTS SHALL BE INCLUDED IN OVERALL BASE BID. ALL EXCAVATION SHALL BE CONSIDERED UNCLASSIFIED.

LEGEND:

	EXISTING CONTOUR LINE
	PROPOSED CONTOUR LINE
	EXISTING STORM SEWER PIPE
	PROPOSED STORM SEWER PIPE
	EXISTING CATCH BASIN/JUNCTION BOX
	PROPOSED CATCH BASIN
	PROPOSED DROP INLET
	PROPOSED JUNCTION BOX
	PROPOSED WATER QUALITY UNIT
	TOP OF CURB
	TOP OF PAVEMENT
	TOP OF WALL
	BOTTOM OF WALL
	RIP RAP OUTLET PROTECTION

STRIPPING AND COMPACTION SCHEDULE:

TOPSOIL STRIPPING DEPTH 3'-4" AVERAGE. DEEPER IF REQUIRED LOCALLY.

REQUIRED COMPACTION PERCENTAGES (% MAX DRY DENSITY)

STANDARD PROCTOR TEST METHOD ASTM TEST # D-889

PAVED AREA 95%

TESTING:

ALLOW 1 COMPACTION TEST PER EA. 2500 S.F. (MAX 50' X 50' AREA) PER LIFT AT BUILDING AREA.

ALLOW 1 COMPACTION TEST PER EACH 10,000 S.F. OF CUT OR NATURAL GRADE AT BUILDING AREA.

ALLOW 1 COMPACTION TEST PER EA. 5500 S.F. (MAX 75' X 75' AREA) PER LIFT AT PARKING AREA.

ALLOW 1 COMPACTION TEST PER EACH 40,000 S.F. OF CUT OR NATURAL GRADE AT PARKING AREA.

MAXIMUM LOOSE LIFT THICKNESS SHALL BE 6", UNLESS NOTED OTHERWISE.

SITE GRADING NOTES:

- CONTRACTOR IS RESPONSIBLE FOR DEMOLITION OF EXISTING STRUCTURES INCLUDING REMOVAL OF ANY EXISTING UTILITIES SERVING THE STRUCTURE. UTILITIES ARE TO BE REMOVED TO THE RIGHT-OF-WAY. CONTRACTOR SHALL COORDINATE WITH LOCAL UTILITY COMPANY AND PAY ALL FEES.
- THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES, AND WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE APPROPRIATE UTILITY COMPANIES AT LEAST 72 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATION OF UTILITIES. THE CONTRACTOR SHALL RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS. THE CONTRACTOR SHALL COORDINATE WITH THE UTILITY COMPANIES AND PAY ALL FEES.
- THE CONTRACTOR SHALL REPAIR AND/OR REPLACE ANY EXISTING STRUCTURES THAT ARE DAMAGED DURING AND AS A RESULT OF CONSTRUCTION. REPAIRS AND/OR REPLACEMENTS SHALL BE MADE AS NECESSARY TO RETURN THE DAMAGED STRUCTURE(S) TO ORIGINAL OR BETTER CONDITION. REPAIRS AND/OR REPLACEMENTS SHALL BE AT THE CONTRACTOR'S EXPENSE.
- THE CONTRACTOR SHALL ADHERE TO ALL TERMS & CONDITIONS AS OUTLINED IN THE GENERAL NOTES. PERMIT FOR STORM WATER DISCHARGE ASSOCIATED WITH CONSTRUCTION ACTIVITIES.
- EXISTING AND PROPOSED GRADE CONTOUR INTERVALS SHOWN AT 1 FOOT.
- ALL SLOPES SHALL BE 2:1 OR FLATTER UNLESS OTHERWISE NOTED.
- ALL UNSURFACED AREAS DISTURBED BY GRADING OPERATIONS SHALL RECEIVE 4 INCHES OF TOPSOIL. CONTRACTOR SHALL GRASS DISTURBED AREAS PER GRASSING SCHEDULE UNTIL A HEALTHY STAND OF GRASS IS OBTAINED.
- CONTRACTOR SHALL ASSURE POSITIVE DRAINAGE AWAY FROM BUILDINGS FOR ALL NATURAL AND PAVED AREAS.
- CONTRACTOR SHALL ADJUST AND/OR SAW CUT EXISTING PAVEMENT AS NECESSARY TO ASSURE A SMOOTH FIT AND CONTINUOUS GRADE.
- TOPOGRAPHIC INFORMATION TAKEN FROM A TOPOGRAPHIC SURVEY BY SITE, INCORPORATED, DATED 9/12/15. IF CONTRACTOR DOES NOT ACCEPT EXISTING TOPOGRAPHY AS SHOWN ON THE PLANS, WITHOUT EXCEPTION, HE SHALL HAVE MADE, AT HIS EXPENSE, A TOPOGRAPHIC SURVEY BY A REGISTERED LAND SURVEYOR AND SUBMIT IT TO THE OWNER FOR REVIEW.
- CONTRACTOR SHALL INSPECT, REPAIR, AND CLEAN ALL EXISTING DRAINAGE STRUCTURES AND PIPING. ALL SEDIMENT AND DEBRIS SHALL BE REMOVED.
- ALL STORM PIPE ENTERING STRUCTURES SHALL BE GROUTED.
- ALL STORM SEWER MANHOLES IN PAVED AREAS SHALL BE FLUSH WITH PAVEMENT AND SHALL HAVE TRAFFIC BEARING RING & COVERS. MANHOLES IN UNPAVED AREAS SHALL BE 6 INCHES ABOVE FINISH GRADE. LIDS SHALL BE LABELED "STORM SEWER".
- ALL STORM STRUCTURES SHALL HAVE A SMOOTH UNIFORM POURED MORTAR INVERT FROM INVERT IN TO INVERT OUT.
- CONSTRUCTION SHALL COMPLY WITH ALL APPLICABLE GOVERNING CODES AND BE CONSTRUCTED TO LAST.
- MINIMUM COVER FROM TOP OF PIPE TO FINISH GRADE SHALL BE 2 FEET.
- HEADWALLS SHALL BE CONSTRUCTED AND/OR INSTALLED IMMEDIATELY FOLLOWING INSTALLATION OF PIPE TO MINIMIZE POSSIBLE PIPE DAMAGE AND FACILITATE FINAL GRADING.
- RIP-RAP STONE FOR EROSION PROTECTION SHALL BE PROVIDED AT ALL STORMWATER DISCHARGE LOCATIONS.
- WATER, SEWER, AND STORM LINES SHALL BE KEPT 10 FEET APART HORIZONTALLY AND 18 INCHES APART VERTICALLY WHEN CROSSING (OUTSIDE EDGE OF PIPE TO OUTSIDE EDGE OF PIPE), UNLESS NOTED OTHERWISE.
- WHEN CROSSING, WATER LINES SHALL BE CONSTRUCTED ABOVE SEWER LINES AND STORM LINES. UNLESS A LACK OF DEPTH ABOVE THE SEWER OR STORM LINE NECESSITATES CONSTRUCTION OF WATER LINES BENEATH SEWER LINES OR STORM LINES. IN THE EVENT OF A VERTICAL CONFLICT, THE FOLLOWING MODIFICATIONS MUST OCCUR:
-SEWER LINES SHALL BE DUCTILE IRON PIPE WITH MECHANICAL JOINTS AT LEAST 10 FEET ON BOTH SIDES OF THE CROSSING.
-STORM LINES SHALL HAVE "O-RING" GASKETS WITH HUGGER BAND COUPLING AT LEAST 10 FEET ON BOTH SIDES OF THE CROSSING.
-WATER LINES SHALL BE DUCTILE IRON PIPE WITH MECHANICAL JOINTS AND APPROPRIATE THRUST BLOCING MEETING THE REQUIREMENTS OF ANSI 21.10 OR 21.11 (AWWA C-151) (CLASS 50).

CONTRACTOR SHALL BE RESPONSIBLE FOR ALL EARTHWORK REQUIRED TO PREPARE THE UNCLASSIFIED SITE TO THE LINES AND GRADES AS SHOWN ON PLANS. THIS INCLUDES, BUT IS NOT LIMITED TO, ANY QUANTITY OF IMPORT OR EXPORT OF STRUCTURAL FILL AND/OR DISPOSAL OF UNSUITABLE MATERIAL, AS REQUIRED. ALL COSTS SHALL BE INCLUDED IN OVERALL BASE BID. ALL EXCAVATION SHALL BE CONSIDERED UNCLASSIFIED.

Tennessee 811
Know what's below.
Call before you dig.

GRAPHIC SCALE
1 inch = 20 ft

LOG: JAE DATE: 02/12/16
CHECKED BY: JRA FILE: 1873-Grading

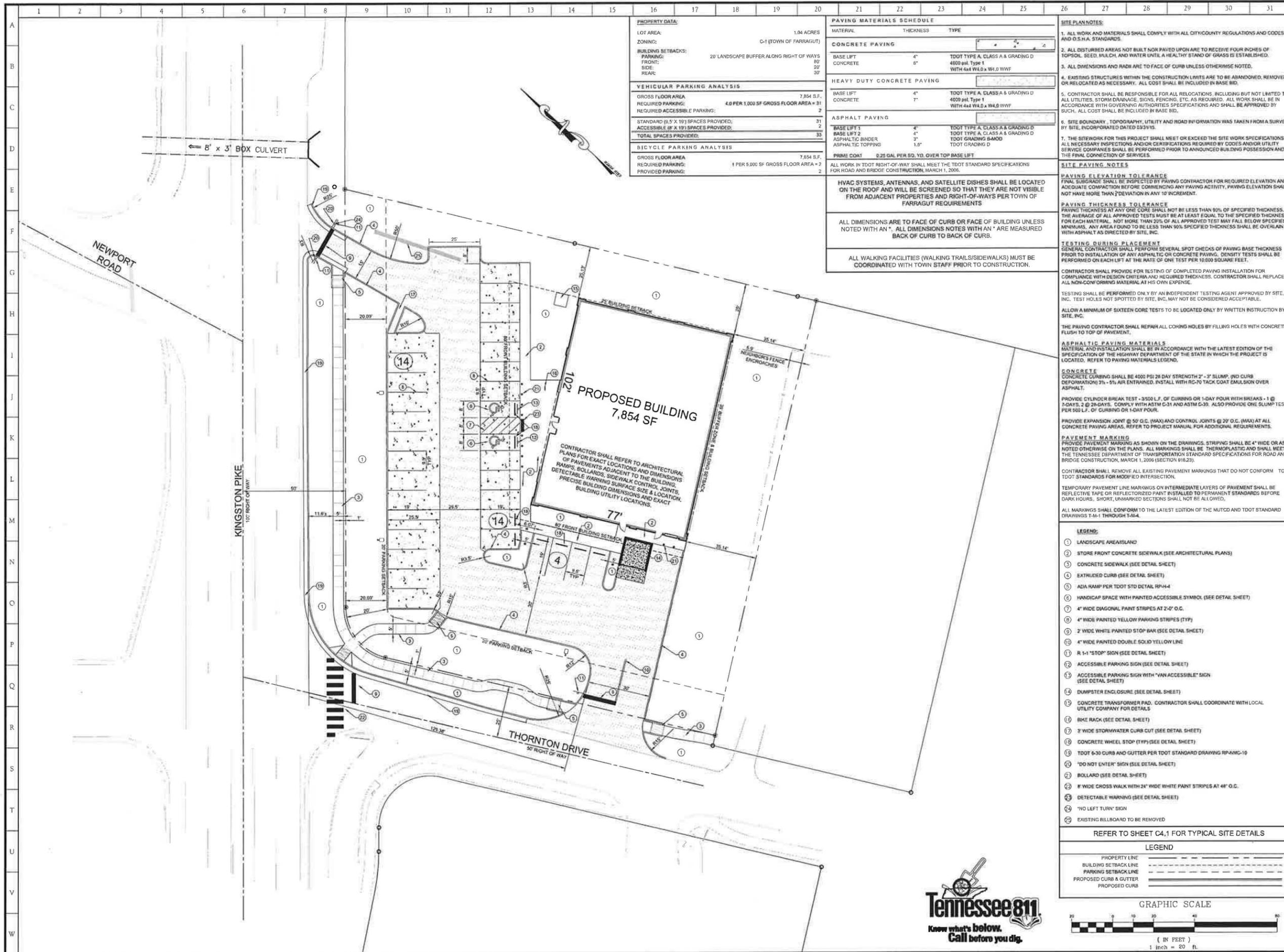
NO.	DATE	COMMENTS
1	02/12/16	REVISED FOR COMMENTS

C3.0
SHEET 8 OF 20

SITE INCORPORATED
Site Infrastructure Transportation Engineers
10215 Technology Drive, Suite 304 Knoxville, TN 37932
Phone: (603) 777-4160 Fax: (603) 777-4169

ANNETTE C. HONEY
REGISTERED PROFESSIONAL ENGINEER
STATE OF TENNESSEE
No. 000984 Exp. 06/30/24

Site Grading and Drainage Plan
O'Reilly Auto Parts
10870 Kingston Pike
6th Civil District, Knox County
Farragut, Tennessee



PROPERTY DATA:	
LOT AREA:	1.04 ACRES
ZONING:	C-1 (TOWN OF FARRAGUT)
BUILDING SETBACKS:	
PARKING:	20' LANDSCAPE BUFFER ALONG RIGHT OF WAYS
FRONT:	80'
SIDE:	20'
REAR:	30'
VEHICULAR PARKING ANALYSIS:	
GROSS FLOOR AREA:	7,854 SF.
REQUIRED PARKING:	4.0 PER 1,000 SF GROSS FLOOR AREA = 31
REQUIRED ACCESSIBLE PARKING:	2
STANDARD (8.5' X 19') SPACES PROVIDED:	31
ACCESSIBLE (8' X 12') SPACES PROVIDED:	2
TOTAL SPACES PROVIDED:	33
BICYCLE PARKING ANALYSIS:	
GROSS FLOOR AREA:	7,854 SF.
REQUIRED PARKING:	1 PER 5,000 SF GROSS FLOOR AREA = 2
PROVIDED PARKING:	2

PAVING MATERIALS SCHEDULE			
MATERIAL	THICKNESS	TYPE	
CONCRETE PAVING			
BASE LIFT	4"	TDOT TYPE A, CLASS A & GRADING D	
CONCRETE	6"	4000 psi, Type 1 WITH 4x4 W.L.S. & W.L.S. WYF	
HEAVY DUTY CONCRETE PAVING			
BASE LIFT	4"	TDOT TYPE A, CLASS A & GRADING D	
CONCRETE	7"	4000 psi, Type 1 WITH 4x4 W.L.S. & W.L.S. WYF	
ASPHALT PAVING			
BASE LIFT 1	4"	TDOT TYPE A, CLASS A & GRADING D	
BASE LIFT 2	4"	TDOT TYPE A, CLASS A & GRADING D	
ASPHALTIC BINDER	3"	TDOT GRADING 8400D	
ASPHALTIC TOPPING	1.5"	TDOT GRADING D	
PRIME COAT	0.25 GAL PER SQ. YD. OVER TOP BASE LIFT		
ALL WORK IN TDOT RIGHT-OF-WAY SHALL MEET THE TDOT STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, MARCH 1, 2006.			
HVAC SYSTEMS, ANTENNAS, AND SATELLITE DISHES SHALL BE LOCATED ON THE ROOF AND WILL BE SCREENED SO THAT THEY ARE NOT VISIBLE FROM ADJACENT PROPERTIES AND RIGHT-OF-WAYS PER TOWN OF FARRAGUT REQUIREMENTS			
ALL DIMENSIONS ARE TO FACE OF CURB OR FACE OF BUILDING UNLESS NOTED WITH AN "A". ALL DIMENSIONS NOTED WITH AN "A" ARE MEASURED BACK OF CURB TO BACK OF CURB.			
ALL WALKING FACILITIES (WALKING TRAILS/SIDEWALKS) MUST BE COORDINATED WITH TOWN STAFF PRIOR TO CONSTRUCTION.			

SITE PLAN NOTES:

1. ALL WORK AND MATERIALS SHALL COMPLY WITH ALL CITY/COUNTY REGULATIONS AND CODES AND O.S.H.A. STANDARDS.
2. ALL DISTURBED AREAS NOT BUILT OR PAVED UPON ARE TO RECEIVE FOUR INCHES OF TOPSOIL, SEED, MULCH, AND WATER UNTIL A HEALTHY STAND OF GRASS IS ESTABLISHED.
3. ALL DIMENSIONS AND RADII ARE TO FACE OF CURB UNLESS OTHERWISE NOTED.
4. EXISTING STRUCTURES WITHIN THE CONSTRUCTION LIMITS ARE TO BE ABANDONED, REMOVED, OR RELOCATED AS NECESSARY. ALL COST SHALL BE INCLUDED IN BASE BID.
5. CONTRACTOR SHALL BE RESPONSIBLE FOR ALL RELOCATIONS, INCLUDING BUT NOT LIMITED TO ALL UTILITIES, STORM DRAINAGE, SIGNS, FENCING, ETC. AS REQUIRED. ALL WORK SHALL BE IN ACCORDANCE WITH GOVERNING AUTHORITIES SPECIFICATIONS AND SHALL BE APPROVED BY SUCH. ALL COST SHALL BE INCLUDED IN BASE BID.
6. SITE BOUNDARY, TOPOGRAPHY, UTILITY AND ROAD INFORMATION WAS TAKEN FROM A SURVEY BY SITE, INCORPORATED DATED 03/31/15.
7. THE SITEWORK FOR THIS PROJECT SHALL MEET OR EXCEED THE SITE WORK SPECIFICATIONS. ALL NECESSARY INSPECTIONS AND/OR CERTIFICATIONS REQUIRED BY CODES AND/OR UTILITY SERVICE COMPANIES SHALL BE PERFORMED PRIOR TO ANNOUNCED BUILDING POSSESSION AND THE FINAL CONNECTION OF SERVICES.

SITE PAVING NOTES:

PAVING ELEVATION TOLERANCE
FINAL SUBGRADE SHALL BE INSPECTED BY PAVING CONTRACTOR FOR REQUIRED ELEVATION AND ADEQUATE COMPACTION BEFORE COMMENCING ANY PAVING ACTIVITY. PAVING ELEVATION SHALL NOT HAVE MORE THAN 1/4" DEVIATION IN ANY 10' INCREMENT.

PAVING THICKNESS TOLERANCE
PAVING THICKNESS AT ANY ONE CURB SHALL NOT BE LESS THAN 90% OF SPECIFIED THICKNESS. THE AVERAGE OF ALL APPROVED TESTS MUST BE AT LEAST EQUAL TO THE SPECIFIED THICKNESS FOR EACH MATERIAL. NOT MORE THAN 20% OF ALL APPROVED TEST MAY FALL BELOW SPECIFIED MINIMUMS. ANY AREA FOUND TO BE LESS THAN 90% SPECIFIED THICKNESS SHALL BE OVERLAIN WITH ASPHALT AS DIRECTED BY SITE, INC.

TESTING DURING PLACEMENT
GENERAL CONTRACTOR SHALL PERFORM SEVERAL SPOT CHECKS OF PAVING BASE THICKNESS PRIOR TO INSTALLATION OF ANY ASPHALTIC OR CONCRETE PAVING. DENSITY TESTS SHALL BE PERFORMED ON EACH LIFT AT THE RATE OF ONE TEST PER 10,000 SQUARE FEET.

CONTRACTOR SHALL PROVIDE FOR TESTING OF COMPLETED PAVING INSTALLATION FOR COMPLIANCE WITH DESIGN CRITERIA AND REQUIRED THICKNESS. CONTRACTOR SHALL REPLACE ALL NON-COMPLYING MATERIAL AT HIS OWN EXPENSE.

TESTING SHALL BE PERFORMED ONLY BY AN INDEPENDENT TESTING AGENT APPROVED BY SITE, INC. TEST HOLES NOT SPOTTED BY SITE, INC. MAY NOT BE CONSIDERED ACCEPTABLE.

ALLOW A MINIMUM OF SIXTEEN CORE TESTS TO BE LOCATED ONLY BY WRITTEN INSTRUCTION BY SITE, INC.

THE PAVING CONTRACTOR SHALL REPAIR ALL CORING HOLES BY FILLING HOLES WITH CONCRETE FLUSH TO TOP OF PAVEMENT.

ASPHALTIC PAVING MATERIALS
MATERIAL AND INSTALLATION SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF THE SPECIFICATION OF THE HIGHWAY DEPARTMENT OF THE STATE IN WHICH THE PROJECT IS LOCATED. REFER TO PAVING MATERIALS LEGEND.

CONCRETE
CONCRETE CURBING SHALL BE 4000 PSI 28 DAY STRENGTH 2" - 3" SLUMP. (NO CURB DEFORMATION) 3% - 5% AIR ENTRAINMENT. INSTALL WITH RC-70 TACK COAT EMULSION OVER ASPHALT.

PROVIDE CYLINDER BREAK TEST - 3550 L.F. OF CURBING OR 1-DAY POUR WITH BREAKS - 1 @ 7-DAYS, 2 @ 28-DAYS. COMPLY WITH ASTM C-31 AND ASTM C-39. ALSO PROVIDE ONE SLUMP TEST PER 500 L.F. OF CURBING OR 1-DAY POUR.

PROVIDE EXPANSION JOINT @ 50' O.C. (MAX) AND CONTROL JOINTS @ 20' O.C. (MAX) AT ALL CONCRETE PAVING AREAS. REFER TO PROJECT MANUAL FOR ADDITIONAL REQUIREMENTS.

PAVEMENT MARKING
PROVIDE PAVEMENT MARKING AS SHOWN ON THE DRAWINGS. STRIPING SHALL BE 4" WIDE OR AS NOTED OTHERWISE ON THE PLANS. ALL MARKINGS SHALL BE THERMOPLASTIC AND SHALL MEET THE TENNESSEE DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, MARCH 1, 2006 (SECTION 618.23).

CONTRACTOR SHALL REMOVE ALL EXISTING PAVEMENT MARKINGS THAT DO NOT CONFORM TO TDOT STANDARDS FOR MODIFIED INTERSECTION.

TEMPORARY PAVEMENT LINE MARKINGS ON INTERMEDIATE LAYERS OF PAVEMENT SHALL BE REFLECTIVE TAPE OR REFLECTORIZED PAINT INSTALLED TO PERMANENT STANDARDS BEFORE DARK HOURS. SHORT, UNMARKED SECTIONS SHALL NOT BE ALLOWED.

ALL MARKINGS SHALL CONFORM TO THE LATEST EDITION OF THE MUTCD AND TDOT STANDARD DRAWINGS T-4-M-1 THROUGH T-4-M-4.

- LEGEND:**
- ① LANDSCAPE AREAS/LAND
 - ② STORE FRONT CONCRETE SIDEWALK (SEE ARCHITECTURAL PLANS)
 - ③ CONCRETE SIDEWALK (SEE DETAIL SHEET)
 - ④ EXTRUDED CURB (SEE DETAIL SHEET)
 - ⑤ ADA RAMP PER TDOT STD DETAIL RP-H-4
 - ⑥ HANDICAP SPACE WITH PAINTED ACCESSIBLE SYMBOL (SEE DETAIL SHEET)
 - ⑦ 4" WIDE DIAGONAL PAINT STRIPES AT 2'-0" O.C.
 - ⑧ 4" WIDE PAINTED YELLOW PARKING STRIPES (TYP)
 - ⑨ 2" WIDE WHITE PAINTED STOP BAR (SEE DETAIL SHEET)
 - ⑩ 4" WIDE PAINTED DOUBLE SOLID YELLOW LINE
 - ⑪ R-1-1 "STOP" SIGN (SEE DETAIL SHEET)
 - ⑫ ACCESSIBLE PARKING SIGN (SEE DETAIL SHEET)
 - ⑬ ACCESSIBLE PARKING SIGN WITH "VAN ACCESSIBLE" SIGN (SEE DETAIL SHEET)
 - ⑭ DUMPSTER ENCLOSURE (SEE DETAIL SHEET)
 - ⑮ CONCRETE TRANSFORMER PAD. CONTRACTOR SHALL COORDINATE WITH LOCAL UTILITY COMPANY FOR DETAILS
 - ⑯ BIKE RACK (SEE DETAIL SHEET)
 - ⑰ 3" WIDE STORMWATER CURB CUT (SEE DETAIL SHEET)
 - ⑱ CONCRETE WHEEL STOP (TYP) (SEE DETAIL SHEET)
 - ⑲ TDOT 6-30 CURB AND GUTTER PER TDOT STANDARD DRAWING RP-RMC-10
 - ⑳ "DO NOT ENTER" SIGN (SEE DETAIL SHEET)
 - ㉑ BOLLARD (SEE DETAIL SHEET)
 - ㉒ 8" WIDE CROSS WALK WITH 24" WIDE WHITE PAINT STRIPES AT 4" O.C.
 - ㉓ DETECTABLE WARNING (SEE DETAIL SHEET)
 - ㉔ "NO LEFT TURN" SIGN
 - ㉕ EXISTING BILLBOARD TO BE REMOVED

REFER TO SHEET C4.1 FOR TYPICAL SITE DETAILS

LEGEND

PROPERTY LINE
BUILDING SETBACK LINE
PARKING SETBACK LINE
PROPOSED CURB & GUTTER
PROPOSED CURB

GRAPHIC SCALE

(IN FEET)
1 inch = 20 ft.

SITE INCORPORATED
Civil Engineers & Surveyors
10215 Technology Drive, Suite 304
Knoxville, TN 37932
Phone: (865) 777-4160
Fax: (865) 777-4189



Site Layout Plan

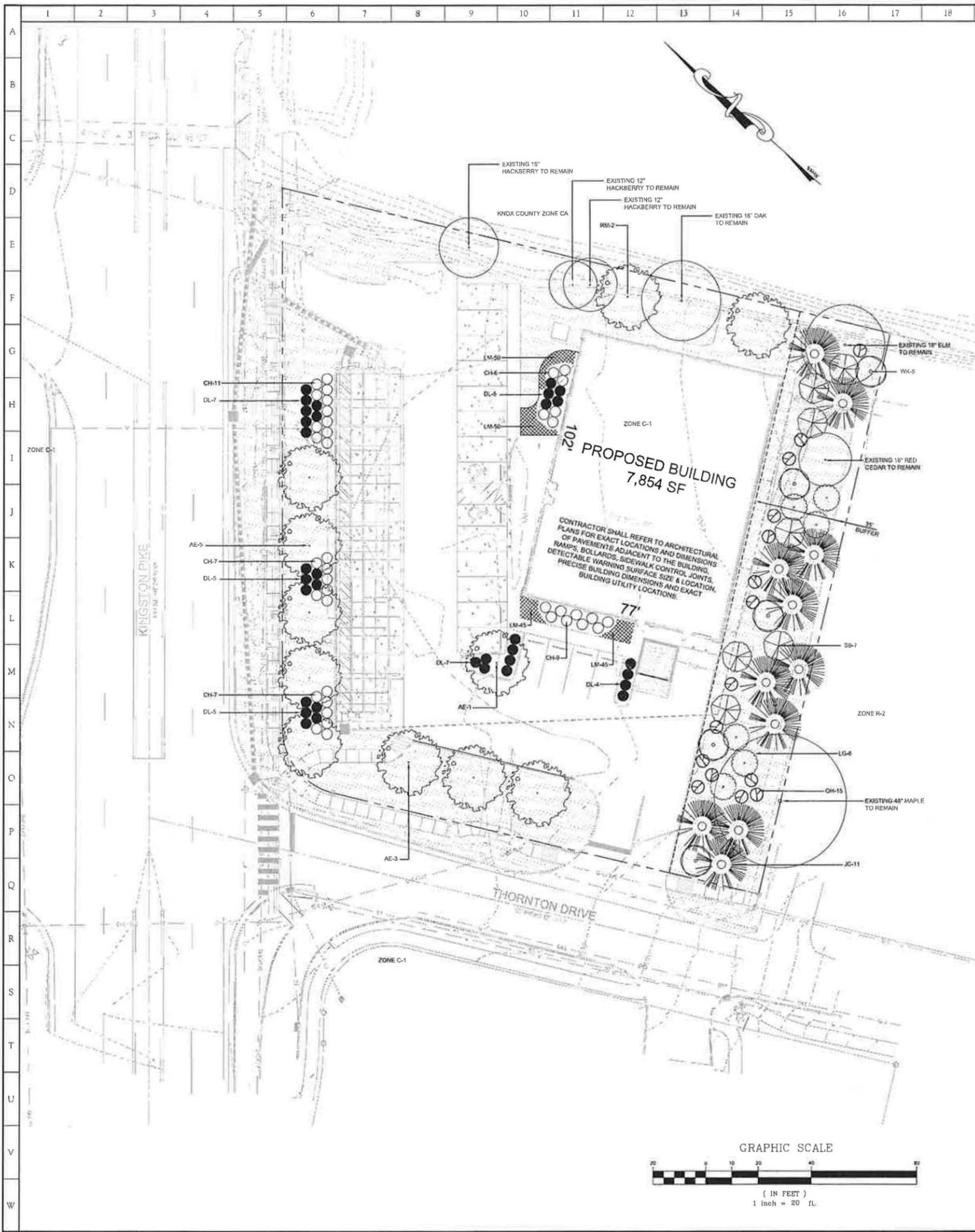
O'Reilly Auto Parts
10870 Kingston Pike
6th Civil District, Knox County
Farragut, Tennessee

DRAWN BY: JAE DATE: 02/12/16
CHECKED BY: JRA FILE: 1873-Layout

REVISIONS	
NO.	DATE
1	02/24/16
REVISED PER COMMENTS	

C4.0
SHEET 1 OF 20





PLANT MATERIAL SCHEDULE						
SYM.	QTY.	BOTANICAL NAME	COMMON NAME	* MINIMUM SIZE	SPACING	REMARKS
TREES						
RM	2	<i>Acer rubrum</i>	Red Maple	2" cal., 12' height, 6' spread	As Shown	
JC	11	<i>Crypthomeria japonica</i>	Japanese Cryptomeria	6' height, 4' spread	As Shown	Multistem Tree Form
LG	6	<i>Magnolia grandiflora</i> "Little Gem"	Little Gem Magnolia	2" cal., 12' height, 6' spread	As Shown	
AE	9	<i>Ulmus parviflora</i> "Atco"	Alle Chinese Elm	2" cal., 12' height, 6' spread	As Shown	
SB	7	<i>Viburnum rufidulum</i>	Southern Blackhaw Viburnum	2" cal., 12' height, 6' spread	As Shown	
WK	5	<i>Crataegus viridis</i> "Winter King"	Winter King Hawthorn	2" cal., 12' height, 6' spread	As Shown	
SHRUBS						
OH	15	<i>Hydrangea quercifolia</i>	Oak Leaf Hydrangeas	12" height, 12" spread	As Shown	
DL	33	<i>Loropetalum chinensis</i> "Danuika"	Danuika Dwarf Loropetalum	15" height, 15" spread	4'0" O.C.	
CH	40	<i>Ilex cornuta</i> "Caribae"	Caribae Holly	15" height, 10" spread	4'0" O.C.	
GROUNDCOVERS						
LM	190	<i>Loligo maculata</i> "Big Blue"	Big Blue Monkeygrass	4" Pot	1'0" O.C.	

* TREE CALIPER SHALL BE MEASURED AT A POINT 6" ABOVE THE GROUND

PERMANENT GRASSING SCHEDULE

GRASS SEED SHALL BE AS FOLLOWS:
 FEB-NOV.....TALL FESCUE BLEND 6 LB/1000 SF
 ANNUAL RYE 1 LB/1000 SF

SOD.....TALL FESCUE BLEND

LIME.....150 LB/1000 SF
 FERTILIZER.....10/10/10 20 LB/1000 SF
 PHOSPHORUS.....20% SUPERPHOSPHATE 500-600 LB/ACRE

MULCH.....STRAW 75 LB/1000 SF
 (CRIMPED) EROSION CONTROL NET OR MULCH BINDER ON SLOPES.

MIN SEED PURITY	MIN. GERM.	MAX. WEED
95%	85%	0.1%
95%	90%	0.1%

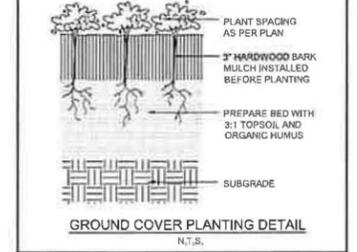
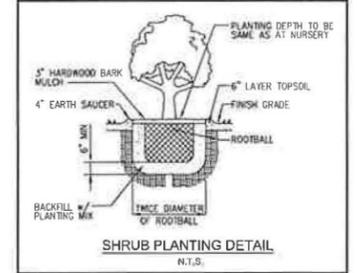
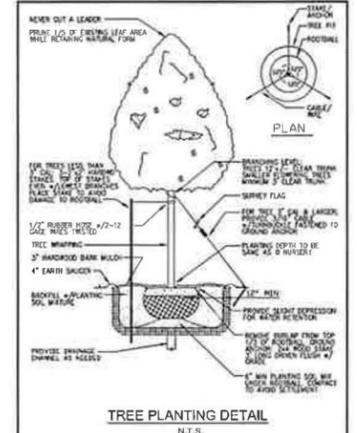
* PLANTING SHALL BE COMPLETE ON ALL AREAS NOT RECEIVE PAVING OR BE BUILT UPON WITHIN 14 WORKING DAYS OF COMPLETION OF GRADING. AREAS STEEPER THAN 3:1V SHALL BE PLANTED NOT LATER THAN 7 DAYS AFTER COMPLETION OF GRADING.
 * ALL LIME & FERTILIZER AMOUNTS SHOWN IN THE PHOSPHORUS SECTION ABOVE ARE MINIMUM AND SHALL BE VERIFIED AFTER SOIL ANALYSIS IS ACCOMPLISHED.

SITE AND LANDSCAPE DATA

TOTAL SITE AREA	45,401 SF (1.04 ACRES)
TOTAL IMPERVIOUS AREA	23,948 SF (0.55 ACRES)
TOTAL LOT COVERAGE	57.15%

LANDSCAPING REQUIREMENTS

	REQUIRED	PROVIDED
SHADE TREE PLANTING REQUIREMENTS		
1 SHADE TREE/2500 SF IMPERVIOUS AREA	11	11
25% SHADE TREES PLANTED IN FRONT YARD	3	8
LANDSCAPING BETWEEN BUILDING AND PARKING LOT		
2.5 X LINEAR FEET OF BUILDING 2.5 X (103 + 78)	453 SF	1123 SF
25% OF AREA TO CONTAIN LIVE MATERIAL OTHER THAN GRASS	113 SF	743 SF
LANDSCAPING FOR STORMWATER DETENTION POND		
DETENTION POND IS UNDERGROUND - NO ADDITIONAL LANDSCAPING REQUIRED		
LANDSCAPING FOR BUFFER STRIP		
30' WIDE BUFFER REQUIRED - PLANTING SHALL BE PER 100' BUFFER (PER CONDITION OF BZA 03-23-16) LENGTH OF BUFFER = 215		
6 CANOPY TREES PER 100 LF OF BUFFER	13	13
8 UNDERSTORY TREES PER 100 LF BUFFER	16	18
7 LARGE SHRUBS PER 100 LF BUFFER	15	15



- LANDSCAPE NOTES:**
- ALL DISTURBED AREAS NOT TO BE PAVED OR BUILT UPON ARE TO RECEIVE A MINIMUM OF 4" OF TOPSOIL.
 - ALL PLANT MATERIAL SHALL BE HEALTHY, VIGOROUS, AND FREE OF PESTS AND DISEASE.
 - ALL PLANT MATERIAL SHALL BE CONTAINER GROWN OR BALLED AND BURLAPPED AS INDICATED IN THE PLANT LIST.
 - ALL TREES SHALL HAVE A STRAIGHT TRUNK AND FULL HEAD AND MEET ALL REQUIREMENTS SPECIFIED.
 - ALL MATERIALS ARE SUBJECT TO THE APPROVAL OF THE OWNER BEFORE, DURING, AND AFTER INSTALLATION.
 - ALL TREES MUST BE GUYED OR STAKED AS SHOWN IN THE DETAILS.
 - ALL PLANTING AREAS SHALL BE COMPLETELY MULCHED AS SPECIFIED.
 - PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING ALL UNDERGROUND UTILITIES AND SHALL AVOID DAMAGE TO ALL UTILITIES DURING THE COURSE OF THE WORK. LOCATIONS OF EXISTING BURIED UTILITY LINES SHOWN ON THE PLANS ARE BASED UPON BEST AVAILABLE INFORMATION AND ARE TO BE CONSIDERED APPROXIMATE. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR (1.) TO VERIFY THE LOCATIONS OF UTILITY LINES AND ADJACENT TO THE WORK AREA (2.) TO PROTECT ALL UTILITY LINES DURING THE CONSTRUCTION PERIOD (3.) TO REPAIR ANY AND ALL DAMAGE TO UTILITIES, STRUCTURES, SITE APPURTENANCES, ETC. WHICH OCCURS AS A RESULT OF THE CONSTRUCTION.
 - THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING ALL QUANTITIES SHOWN ON THESE PLANS BEFORE PRICING THE WORK.
 - CONTRACTOR SHALL BE RESPONSIBLE FOR DELIVERY SCHEDULE AND PROTECTION BETWEEN DELIVERY AND PLANTING PER SPECIFICATIONS TO MAINTAIN HEALTHY PLANT CONDITIONS.
 - THE CONTRACTOR SHALL BE RESPONSIBLE FOR FULLY MAINTAINING (INCLUDING BUT NOT LIMITED TO: WATERING, SPRAYING, MULCHING, FERTILIZING, ETC.) ALL OF THE PLANT MATERIALS AND LAWN UNTIL FINAL ACCEPTANCE OF WORK.
 - ANY PLANT MATERIAL WHICH IS DISEASED, DISTRESSED, DEAD, OR REJECTED (PRIOR TO TOTAL ACCEPTANCE OF THE WORK) SHALL BE PROMPTLY REMOVED FROM THE SITE AND REPLACED WITH MATERIAL OF THE SAME SPECIES, QUANTITY, AND SIZE AND MEETING ALL PLANT LIST SPECIFICATIONS.
 - THE CONTRACTOR SHALL COMPLETELY GUARANTEE ALL PLANT MATERIAL FOR A PERIOD OF 12 MONTHS AFTER SUBSTANTIAL COMPLETION AND ACCEPTANCE OF WORK. THE CONTRACTOR SHALL PROMPTLY MAKE ALL REPLACEMENTS DURING THE NORMAL PLANTING SEASON.
 - AFTER BEING DUG AT THE NURSERY SOURCE, ALL TREES IN LEAF SHALL BE ACCLIMATED FOR TWO (2) WEEKS UNDER A MIST SYSTEM PRIOR TO INSTALLATION.
 - STANDARDS SET FORTH IN "AMERICAN STANDARD FOR NURSERY STOCK" REPRESENT GUIDELINE SPECIFICATIONS ONLY AND SHALL CONSTITUTE MINIMUM QUALITY REQUIREMENTS FOR PLANT MATERIAL.
 - WHERE SHOWN ON THE PLANS AND DETAILS, PLANTING BEDS ARE TO BE COMPLETELY COVERED WITH A HARDWOOD BARK MULCH FROM A LOCAL SOURCE HARVESTED IN A SUSTAINABLE MANNER TO A MINIMUM DEPTH OF THREE INCHES.
 - REFER TO PROJECT SPECIFICATIONS FOR INFORMATION NEEDED FOR IMPLEMENTATION OF PLANTING PLANS.
 - WEED MAT IS REQUIRED IN MULCHED LANDSCAPED BEDS AS SPECIFIED.
 - ALL PLANT MATERIAL QUANTITIES SHOWN ARE APPROXIMATE. CONTRACTOR SHALL BE RESPONSIBLE FOR COMPLETE COVERAGE OF ALL PLANTING BEDS AT SPACING SHOWN.
 - THIS PLAN IS TO BE IMPLEMENTED COOPERATIVELY WITH SWPPP PLAN, AS NEEDED, TO MAXIMIZE THE EFFECTIVENESS OF THE SWPPP PLAN FOR THIS SITE.
 - THE CONTRACTOR IS ENCOURAGED TO COMPLETE TEMPORARY OR PERMANENT SEEDING OR SODDING IN STAGES FOR SOIL STABILIZATION AS AREAS ARE COMPLETED AFTER GRADING.
 - THIS PLAN DOES NOT PRESENT ANY TEMPORARY STABILIZATION REQUIRED AS PART OF SWPPP PLAN.
 - THE CONTRACTOR SHALL MEET ALL OF THE REQUIREMENTS OF THE TOWN OF FARRAGUT LANDSCAPING ORDINANCE REGARDING THIS PROJECT.
 - IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO MAKE ANY AND ALL REQUIRED SUBMITTALS TO THE TOWN OF FARRAGUT.
 - THIS LANDSCAPE PLAN REFLECTS AND IS CONSISTENT WITH THE REMAINING PLAN SHEETS ASSOCIATED WITH THIS PROJECT.
 - HVAC UNITS WILL BE LOCATED ON TOP OF BUILDING AND WILL BE SCREENED PER TOWN OF FARRAGUT REQUIREMENTS.
 - BASED ON AVAILABLE INFORMATION, PROPOSED PLANT MATERIALS WILL NOT INTERFERE WITH ANY EXISTING OR PROPOSED UTILITIES.
 - THE SUBJECT PROPERTY IS ZONED C-1.
 - THERE ARE NO SLOPES STEEPER THAN 3:1 ON THIS SITE.

SITE INCORPORATED
Civil Engineers & Surveyors
10215 Technology Drive, Suite 104
Knoxville, TN 37932
Phone: (865) 777-4160
Fax: (865) 777-4189



Landscape Plan
O'Reilly Auto Parts
10870 Kingston Pike
6th Civil District, Knox County
Farragut, Tennessee

DLA-147N-BY: ACH D-1-TE 03/29/16
CHECKED BY: JRA FILE: 1873-Landscape

NO.	DATE	REVISIONS	COMMENTS

C6.0
SHEET 16 OF 20



Ordering Number Logic
Evolve™ LED S-spline Area Light (EAS2)



Code	Description	Code	Description	Code	Description
1	Finish	1	Mounting	1	Wattage
2	Color	2	Mounting	2	Wattage
3	Material	3	Mounting	3	Wattage
4	Mounting	4	Mounting	4	Wattage
5	Mounting	5	Mounting	5	Wattage

ORDERING INFORMATION



Code	Description	Code	Description	Code	Description
1	Finish	1	Mounting	1	Wattage
2	Color	2	Mounting	2	Wattage
3	Material	3	Mounting	3	Wattage
4	Mounting	4	Mounting	4	Wattage
5	Mounting	5	Mounting	5	Wattage

Code	Description	Code	Description	Code	Description
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3	Material	3	Mounting	3	Wattage
4	Mounting	4	Mounting	4	Wattage
5	Mounting	5	Mounting	5	Wattage

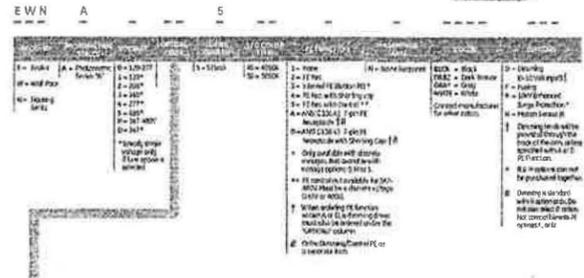
Due to our continued efforts to improve our products, product specifications are subject to change without notice.

Hubbell Outdoor Lighting • 701 Millstream Blvd. • Greenville, SC 29607 • Phone: 804-478-1000

For more information visit our web site www.hubbelloutdoor.com

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Ordering Number Logic
Evolve LED Wall Pack N Series (EWN)



Code	Description	Code	Description	Code	Description
1	Finish	1	Mounting	1	Wattage
2	Color	2	Mounting	2	Wattage
3	Material	3	Mounting	3	Wattage
4	Mounting	4	Mounting	4	Wattage
5	Mounting	5	Mounting	5	Wattage

*Rating values for E and G are based on rated lumens and energy usage due to fixture tolerances.

AUTOMATIC LIGHTING SHUTOFF

COMPLIANCE WITH ENERGY CODE IS ACHIEVED BY:

1. ONCE THE VENDOR HAS BEEN PROGRAMED, THE INTERIOR AND EXTERIOR LIGHTS WILL TURN ON AND OFF USING THE FOLLOWING LOGIC: SEE SHEETS V51, V52 AND V53.

INTERIOR WORK LIGHTS WILL TURN ON WITH FIRST MOTION IN THE STORE AND WILL TURN OFF 15 MINUTES AFTER LAST MOTION ONCE THE STORE IS CLOSED.

INTERIOR SALES LIGHTS WILL TURN ON AT STORE OPENING AND TURN OFF 15 MINUTES AFTER STORE CLOSING.

EXTERIOR SIGN LIGHTS WILL TURN ON WHEN ITS DARK ENOUGH OUTSIDE, ANTIME DURING STORE HOURS, AND WILL TURN OFF AT STORE CLOSING.

EXTERIOR SITE LIGHTS WILL TURN ON WHEN IT IS DARK ENOUGH OUTSIDE AND IT IS WITHIN STORE HOURS OR THERE IS MOTION IN THE STORE. THEY WILL TURN OFF 30 MINUTES AFTER LAST MOTION ONCE THE STORE IS CLOSED.

FOR NEW CONSTRUCTION LOCATIONS ONLY, THERE IS A TEMPORARY PROGRAM TO KEEP SIGN AND SITE LIGHTS ON UNTIL MIDNIGHT RATHER THAN THE TIMES INDICATED ABOVE. O'REILLY WILL DISABLE THIS PROGRAM ONE YEAR AFTER STORE OPENING.

2. RESTROOMS AND OFFICES: ALL LIGHTING IN THESE AREAS ARE CONTROLLED BY OCCUPANT-SENSING DEVICES.

CONTRACTOR SHALL REFER TO ARCHITECT'S DRAWINGS FOR ALL DIMENSIONS AND MATERIALS. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.

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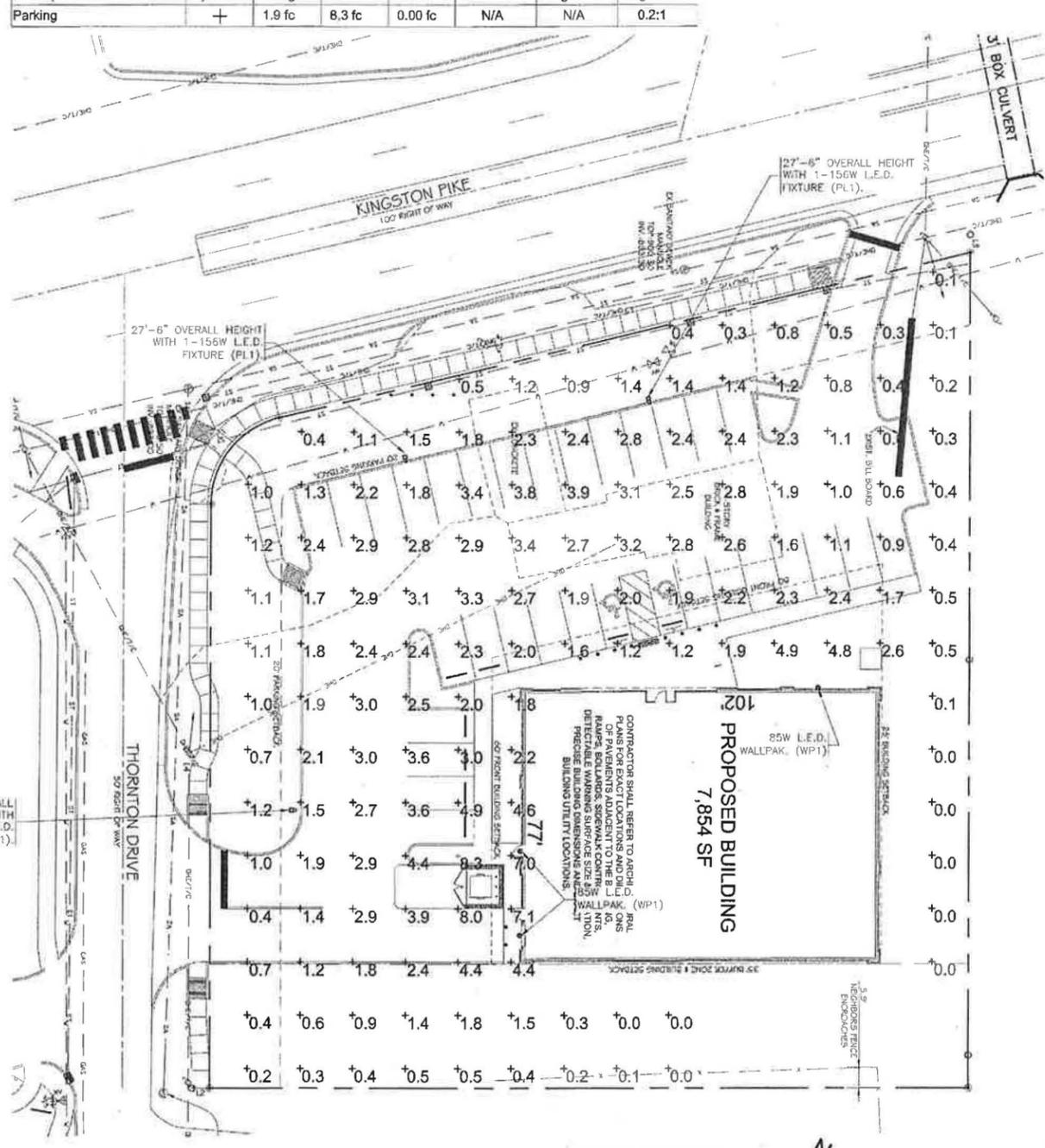
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EXTERIOR LIGHT FIXTURE SCHEDULE

MARK	MFR.	CATALOG NUMBER	SUPPLY VOLTAGE	FINISH	LAY-IN	RECESSED	SURFACE WALL	SURF. CEILING	OTHER	LAMPS	TYPE	QUANTITY	WATTAGE	NOTES	QUANTITIES
WP1	GE EVOLVE	EWS-0-C4-E-40-1-DRKZ	120	DARK BRONZE			X					1	85	FULL CUT-OFF, MOUNT 12" A.F.F. TO CENTERLINE OF FIXTURE.	3
PL1	GE EVOLVE	EASC-0-G4-F-5-40-1-A-DWGZ	120	DARK BRONZE				X				1	156	25' POLE LENGTH, ADVANCE BALLASTS, FULL CUT-OFF, NO SUBSTITUTIONS. ANCHOR BOLTS W/HARDWARE & TEMPLATE.	3

Statistics

Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min	Avg/Max
Parking	+	1.9 fc	8.3 fc	0.00 fc	N/A	N/A	0.2:1



SITE LIGHTING PHOTOMETRICS

SCALE: 1"=20'

SHEET CHANGED IN ITS ENTIRETY.

Hubbell Outdoor Lighting • 701 Millstream Blvd. • Greenville, SC 29607 • Phone: 804-478-1000

For more information visit our web site www.hubbelloutdoor.com



SHETS BEARS THE SEAL AND CERTIFICATE RESPONSIBILITY FOR ALL OTHER PLANS, SPECS, AND DETAILS NOT SHOWN ARE SOICATED.

O'Reilly AUTO PARTS
CORPORATE OFFICES
235 SOUTH PATTERSON
SPRINGFIELD, MISSOURI 65802
(417) 862-2674 TELEPHONE

PROJECT: **NEW O'REILLY AUTO PARTS STORE**
10870 KINGSTON PIKE
FARRAGUT, TENNESSEE
SITE LIGHTING PHOTOMETRICS

3885 S. JEFFERSON AVE.
SPRINGFIELD, MO 65807
P: 417-862-2300
F: 417-862-1188
www.oreillyauto.com



DESIGNED BY: **JTH** CHECKED BY: **NEG**

DATE: **01/14/16**

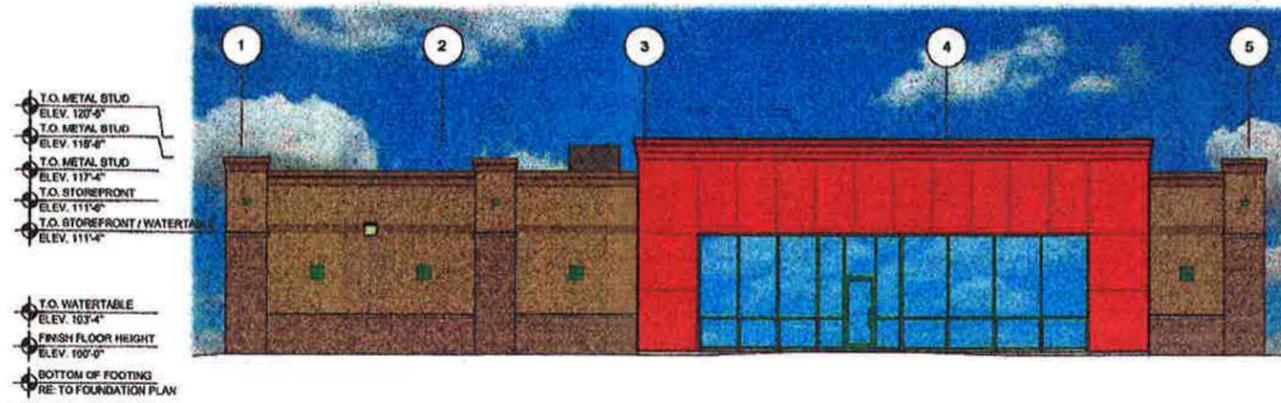
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PROJECT NUMBER: **FGT**

SHEET NUMBER: **SP1**

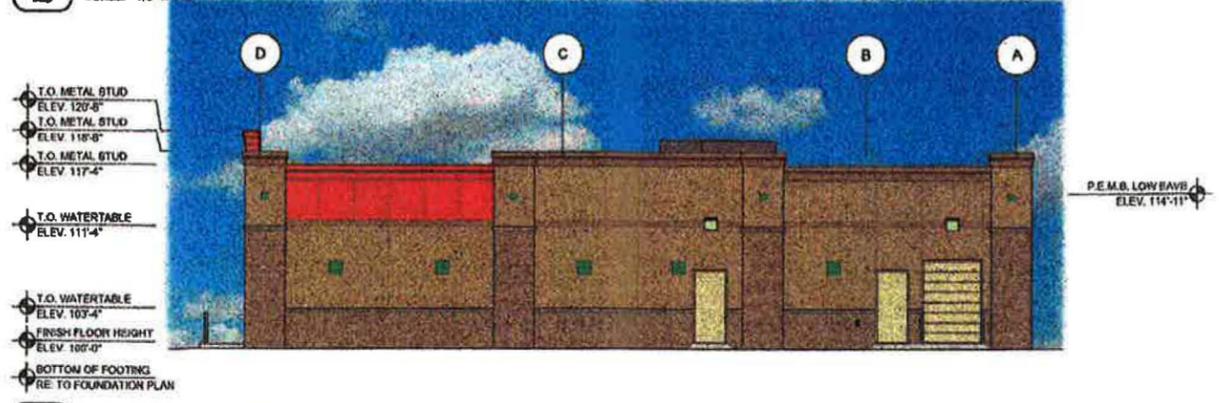
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SHEET 17 OF 20



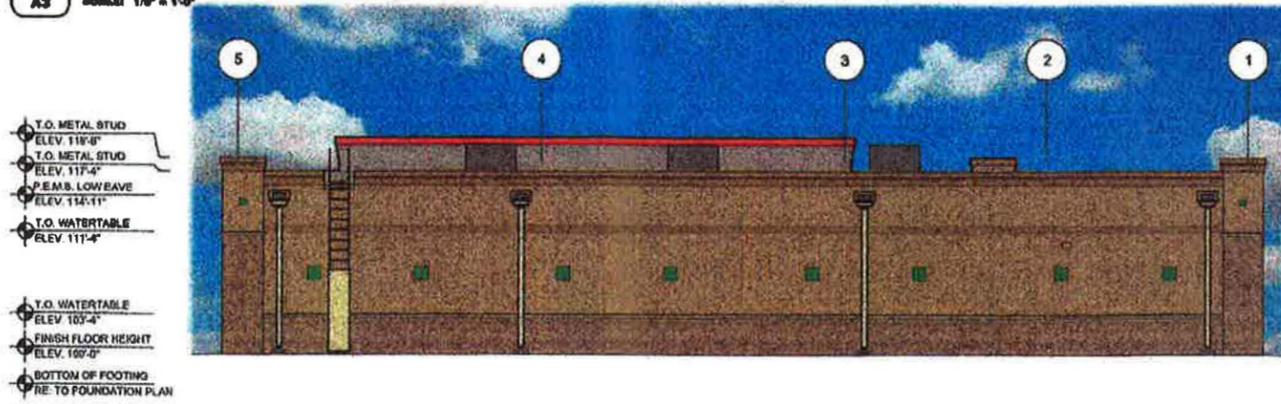
1 FRONT ELEVATION

A3 SCALE: 1/8" = 1'-0"



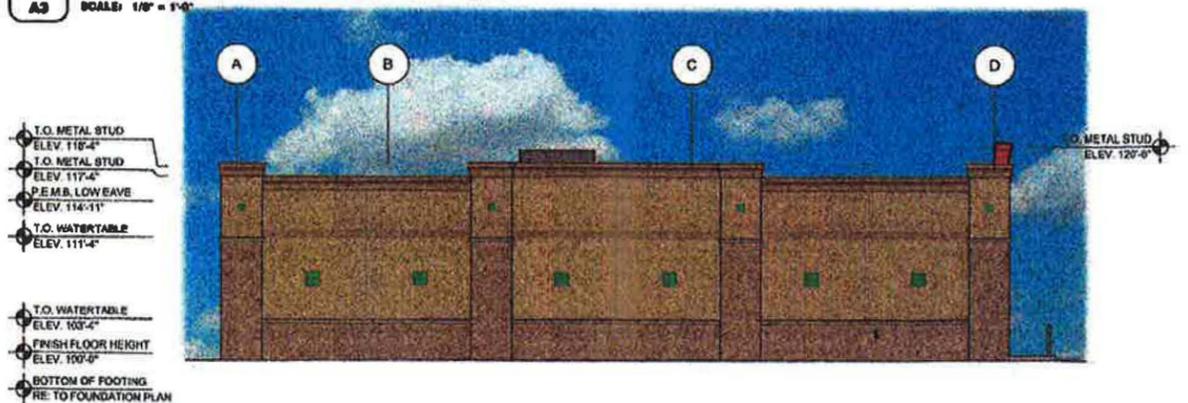
2 SIDE ELEVATION

A3 SCALE: 1/8" = 1'-0"



3 REAR ELEVATION

A3 SCALE: 1/8" = 1'-0"



4 SIDE ELEVATION

A3 SCALE: 1/8" = 1'-0"

NOT FOR CONSTRUCTION
FOR PERMITTING AND CITY
REVIEW PURPOSES ONLY.



O'Reilly AUTO PARTS
CORPORATE OFFICES
230 SOUTH PATTERSON
SPRINGFIELD, MISSOURI 65802
(417) 863-2874 TELEPHONE

BUILDING FACADE CALCULATIONS
NET BUILDING FACADE AREA: 8,763.5 S.F.
TOTAL E.I.F.S. AREA: 1,112 S.F.
TOTAL WINDOW/DOOR AREA: 836 S.F.
TOTAL MASONRY AREA: 6,116.5 S.F.
TOTAL MASONRY PERCENTAGE: 6,116.5 S.F. / 8,763.5 S.F. = 70.00%

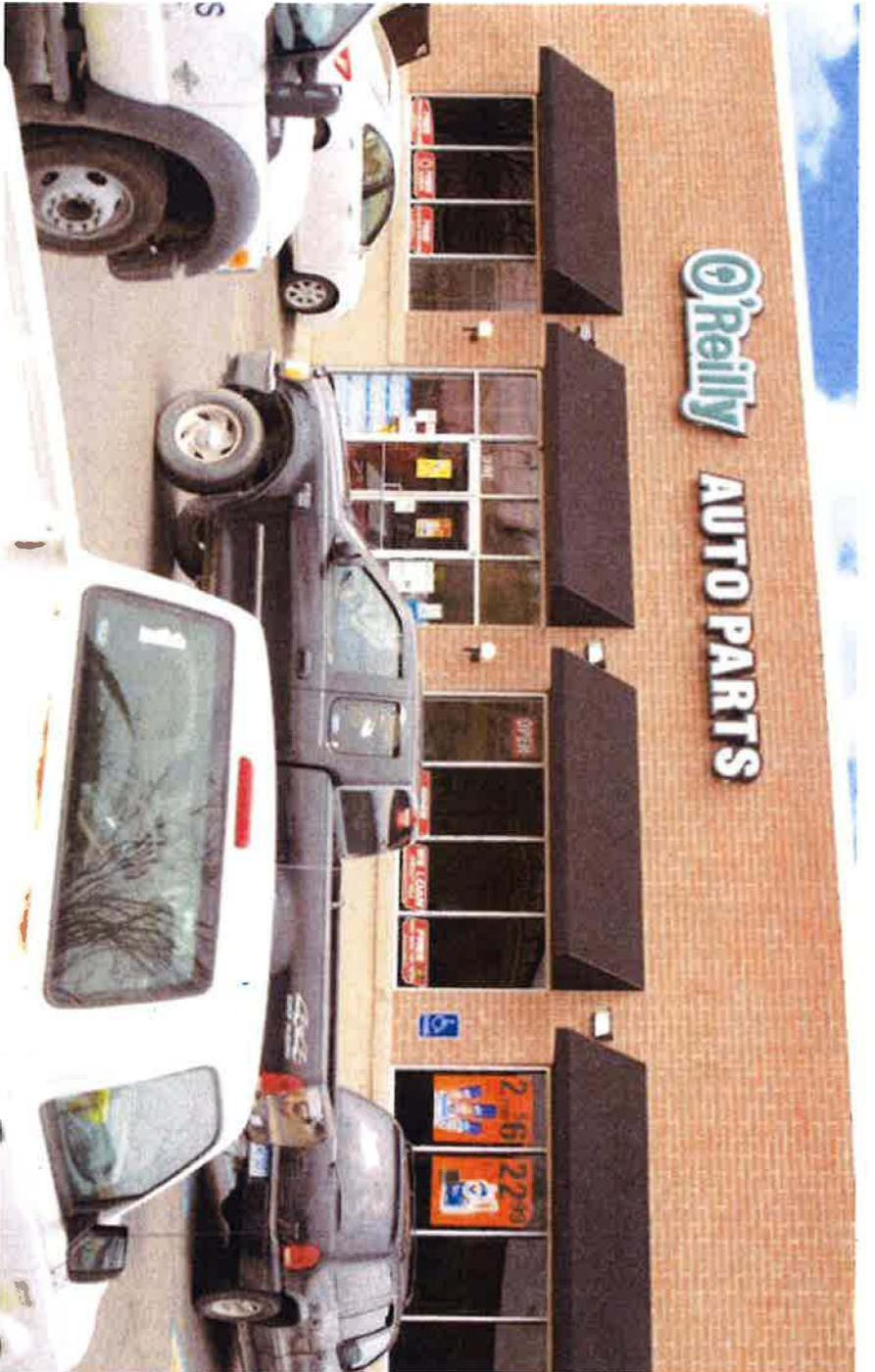
EXTERIOR FINISH SCHEDULE			
TYPE	COMPANY TYPE	COLOR	KEYNOTE REF.:
BRICK	ACME BRICK (OR APPROVED EQUAL)	BRICK COLOR: BL 30 DOVE GRAY MORTAR COLOR: NATURAL SIZE: MODULAR COURSE: RUNNING	2A
		BRICK COLOR: BL 020 OXFORD BROWN MORTAR COLOR: NATURAL SIZE: MODULAR COURSE: SOLDIER	2C
GLAZED FACE SINGLE-SCORED CONCRETE MASONRY UNIT (C.M.U.) ACCENTS	TRINITY (ASTRA-GLAZE-SW)	COLOR: SHAMROCK GREEN 14.2% MORTAR COLOR: NATURAL SIZE: 4"X8"X16" NOM. (8S-SINGLE SCORED) COURSE: STACKED	27
NATURAL STONE WAINSCOT	BOURGET FLAGSTONE COMPANY (OR APPROVED EQUAL)	COLOR: OAKWOOD SANDSTONE - LIGHT BROWN TO TAN COURSE: NATURAL CHOP CUT, RANDOM PATTERN	28
EXTERIOR INSULATION AND FINISH SYSTEM (E.I.F.S.)	DRYVIT - OUTSULATION PLUS MD SANDBLAST FINISH	PORTAL & PORTAL CORNICE: SW 6871 POSITIVE RED ORAPA110908 WITH DRYVIT STRATOTONE HIGH PERFORMANCE COLORANT (FACTORY MIXED ONLY)	1
		FIELD & PLASTER CORNICE: EQUAL TO SHERWIN WILLIAMS "PORTABELLO" SW 6102	25
STOREFRONT (NO SUBSTITUTES)	EFCO	IVY	13
	KAWNEER	DARK R/Y	
	VISTA WALL	INTERSTATE GREEN	
BOLLARDS	IN FIELD	SHERWIN WILLIAMS SW 8488 HUNT CLUB EXTERIOR SEM-GLOSS LATEX	18
EXTERIOR DOORS OVERHEAD DOOR	OWNER	FACTORY PRIME FIELD PAINTED SHERWIN WILLIAMS "SOFTER TAN" SW 6141	12
SHEET METAL CAP FLASHING AT E.I.F.S.	BY METAL BUILDING MFGOR FACTORY PRIME FIELD PAINTED FIELD BREAK	FLASHING @ PORTAL: SHERWIN WILLIAMS SW 6871 POSITIVE RED (VERIFY MIX BELOW MATCHES E.I.F.S. COLOR) CLEAR COAT - DIAMOND GLAD CLEAR COAT URETHANE 8007100669/105/865C105- S COMPONENT	5
		FLASHING @ FIELD & PLASTER CORNICE: EQUAL TO "PORTABELLO" SW 6102	4
SHEET METAL CONDUCTOR HEAD AND DOWNSPOUT SYSTEM	PER LOCAL SUPPLIER	PRE-FINISHED COLOR: MATCH SHERWIN WILLIAMS "SOFTER TAN" SW 6141	7
ROOF ACCESS LADDER	PER LOCAL SUPPLIER	POWDER COATED MATCH SHERWIN WILLIAMS "SOFTER TAN" SW 6141	11 & 20
ARCHITECTURAL PRE-CAST CONCRETE WATER TABLE	PER LOCAL SUPPLIER	COLOR: NATURAL FINISH: SMOOTH FORM FINISH	26

PROJECT:
NEW O'REILLY AUTO PARTS STORE
10870 KINGSTON PIKE
FARRAGUT, TENNESSEE
COLOR EXTERIOR ELEVATIONS

Buddy D. Webb
Architect - Consultant
3087 EAST CARO
SPRINGFIELD, MISSOURI 65802
(417) 877-1388 TELEPHONE
(417) 877-9736 FAX

DRAWN BY: RWS
CHECKED BY: SB
DATE: 01/14/16
REVISION:
ADDENDUM 1 (03/28/16)
PROJECT NUMBER:
SHEET NUMBER:

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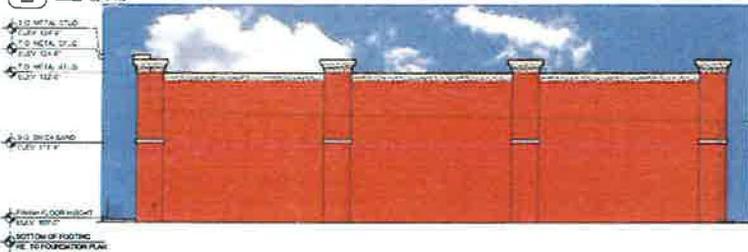






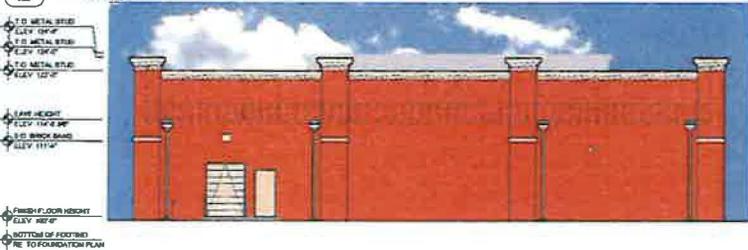
1 FRONT ELEVATION

A3 SCALE: 1/8" = 1'-0"



2 SIDE ELEVATION

A3 SCALE: 1/8" = 1'-0"



3 REAR ELEVATION

A3 SCALE: 1/8" = 1'-0"



4 SIDE ELEVATION

A3 SCALE: 1/8" = 1'-0"

RECEIVED
JUN 29 2015
GC PLANNING COMMISSION

EXTERIOR FINISH SCHEDULE		
TYPE	COMPANY TYPE	COLOR
BRICK	ACME BRICK (OR APPROVED EQUAL)	BRICK COLOR, TBD MEDIUM COLOR NATURAL SIZE MODULAR CHORDING FINISH
EXTERIOR INSULATION AND FINISH SYSTEM (EIFS)	GRUVT - OUTULATION PLUS HD "SHORLAST" FINISH	GRAPH 12655 WITH GRUVT (STRATOTONE HIGH PERFORMANCE COLORANT) (FACTORY MIXED ONLY) FIELD COLOR SW 910 "SOFTER TAN" ACCENT COLOR SW P12 "PORTABELLO"
ARCHITECTURAL PRE-CAST WATER TABLE WINDOW HEADS & SILL	PER LOCAL SUPPLIER	NATURAL CONCRETE
STOREFRONT (NO SUBSTITUTES)	ETCO	011
	KAWNEER	048E WY
	VESTA WALL	INTERSTATE GREEN
COLLARD	IN FIELD	BENEFER WILLIAMS SW 048E HUNT BLUE EXTERIOR BRICK-GLOSS LATIC
EXTERIOR DOORS OVERHEAD DOOR	OWNER	FACTORY PRIME FIELD PAINT SW 6104 200101 TAN
WVEST METAL COP FLASHING	BY METAL BUILDING SUPPLY FACTORY PRIME FIELD BRICKER FIELD PAINTED	SW 6104 200101 TAN CLEAR COAT-DIMENSION CLEAR CLEAR COAT MET ORENFY BRICKES-10 COMPONENT



O'Reilly AUTO PARTS
CORPORATE OFFICE
10000 W. WYOMING
SPRINGFIELD, MISSOURI 65704
(417) 882-2874 TELEPHONE

PROJECT:
NEW O'REILLY AUTO PARTS STORE
BROADWAY
GROVE CITY, OHIO

EXTERIOR ELEVATIONS

Buddy D. Webb
Architect - Consultant
5057 EAST CUMING
SPRINGFIELD, OHIO 45502
(417) 877-1300 TELEPHONE
(417) 877-8738 FAX

DATE: 03/11/15
BY: BSW BSW
03/11/15
01
A3

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MEETING DATE: April 21, 2016

REPORT TO THE FARRAGUT MUNICIPAL PLANNING COMMISSION

PREPARED BY: Mark Shipley, Community Development Director

SUBJECT: Discussion on a request to rezone Parcel 59.07, Tax Map 152, located at 11739 Turkey Creek Road, approximately 16.38 Acres, from R-1 to R-3 (Site Incorporated, Applicant)

INTRODUCTION AND BACKGROUND: The property that is the subject of this rezoning is situated to the west of the Briarstone Subdivision and across from Anchor Park on the north side of Turkey Creek Road. Currently, the property has one dwelling unit and is zoned Rural Residential (R-1). This house is accessed via a long gravel driveway which also provides access to the Scarbrough tract to the west. Across the front portion of the property there is a 100 foot overhead utility line easement.

DISCUSSION: The applicant is requesting to rezone the property to R-3, Small Lot Single-Family Residential. The R-3 District provides for a minimum lot size of 8,500 square feet. It also requires a planted buffer strip around the side and rear periphery of the tract. In terms of the requested rezoning and adherence to the Comprehensive Land Use Plan (CLUP), the property in question is shown on the future land use map as Medium Density Residential (6-12 dwelling units per acre). Also included in the Medium Density Residential area on the future land use map is the Briarstone Subdivision to the east and north. Though, Briarstone is zoned R-1/OSMR, the lot size and building form in Briarstone is very similar to an R-3 development. The R-1/OSMR does not have a minimum lot size. When the property where Briarstone is situated was requested for a rezoning, the staff and commission felt that the smaller lot layout typical for an R-1/OSMR was not inconsistent with the land use description for a Medium Density Residential land use. The staff would also apply this interpretation to the R-3 Zoning District.

Though not necessarily applicable to the rezoning, should the property be rezoned and a subdivision plat submitted, the staff will strongly recommend a connection to the Briarstone Subdivision which could be initiated with the development of the Scarbrough property. This has been discussed with the applicant and they are aware of the need to provide connectivity from both a land use efficiency perspective and to fulfill the requirement for a secondary means of access for emergency service purposes.

A question related to this rezoning is whether a traffic impact study should be required. In discussing this with the Town Engineer, the staffs' recommendation is that a TIS would not be necessary since much of Turkey Creek Road was improved a few years ago. Any access for the development of this property will be required to line up with the Anchor Park access and a deceleration lane will also be recommended at that time.



LIVE CLDERS • GO FURTHER
farragut

Future Land Use Map

Rezone
Parcel 59.07, Tax Map 152

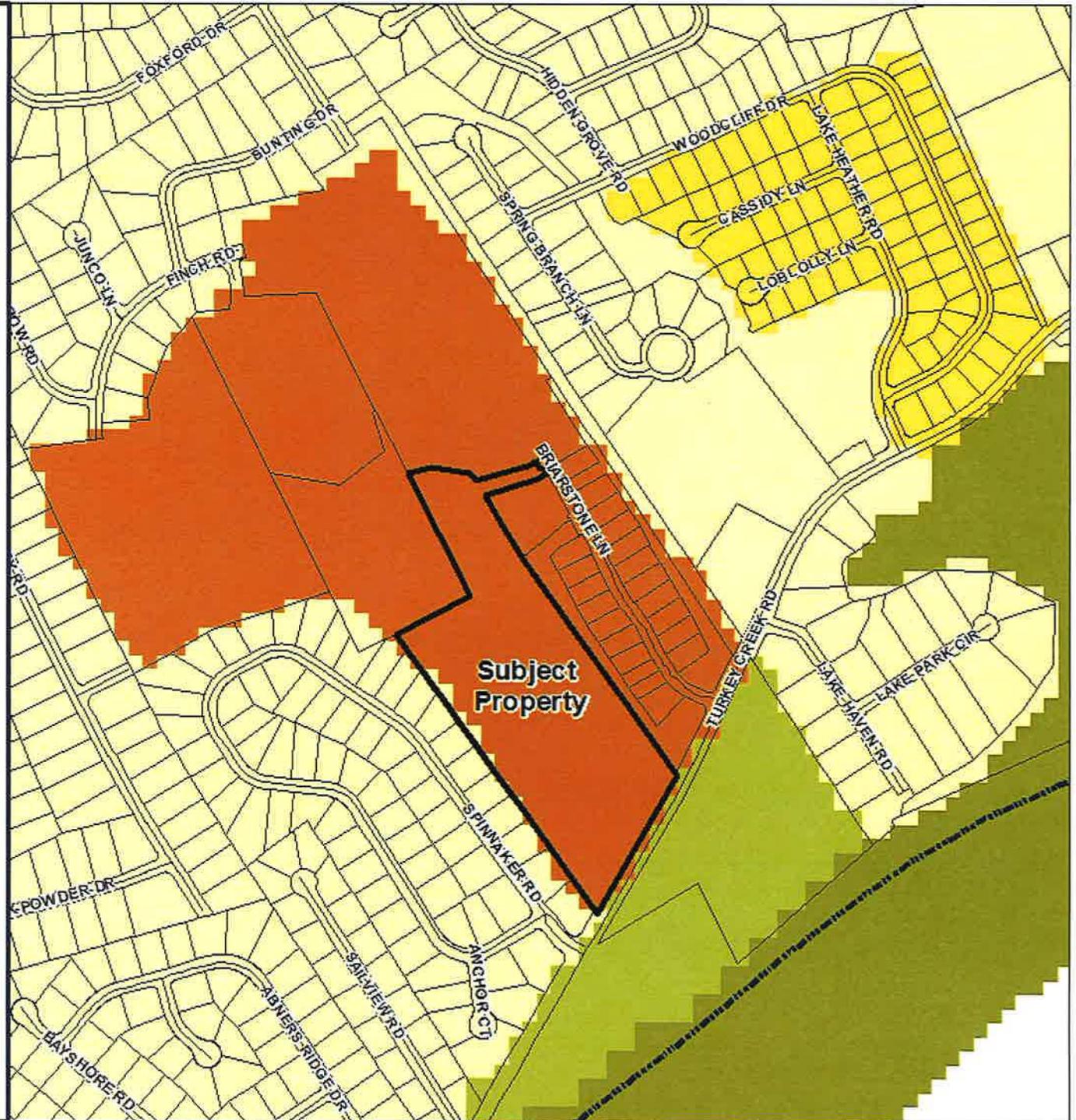
From
Rural Single Family
Residential (R-1)
to
Small Lot Single Family
Residential (R-3)

Legend

-  Town Limit
-  Streets
-  Smith Property
-  Parcels
-  Civic/Institutional
-  Office/Light industrial
-  LU Industrial
-  Commercial
-  Regional Commercial
-  Open Space
-  Parks and Rec
-  Open Space Cluster Residential
-  Rural Residential (> 1 Acre lots)
-  Very Low Density Residential (2-4 DUs / Acre)
-  Low Density Residential (3-6 DUs / Acre)
-  Med Density Residential (6-12 DUs / Acre)
-  Mixed Use Neighborhood (6-10 DUs / Acre)
-  Mixed Use Town Center (8-15 DUs / Acre)



1 in = 524 ft





LIVE CLOSER • GO FURTHER
farragut

**Ordinance 16-XX
Exhibit A**

Rezone
Parcel 59.07, Tax Map 152

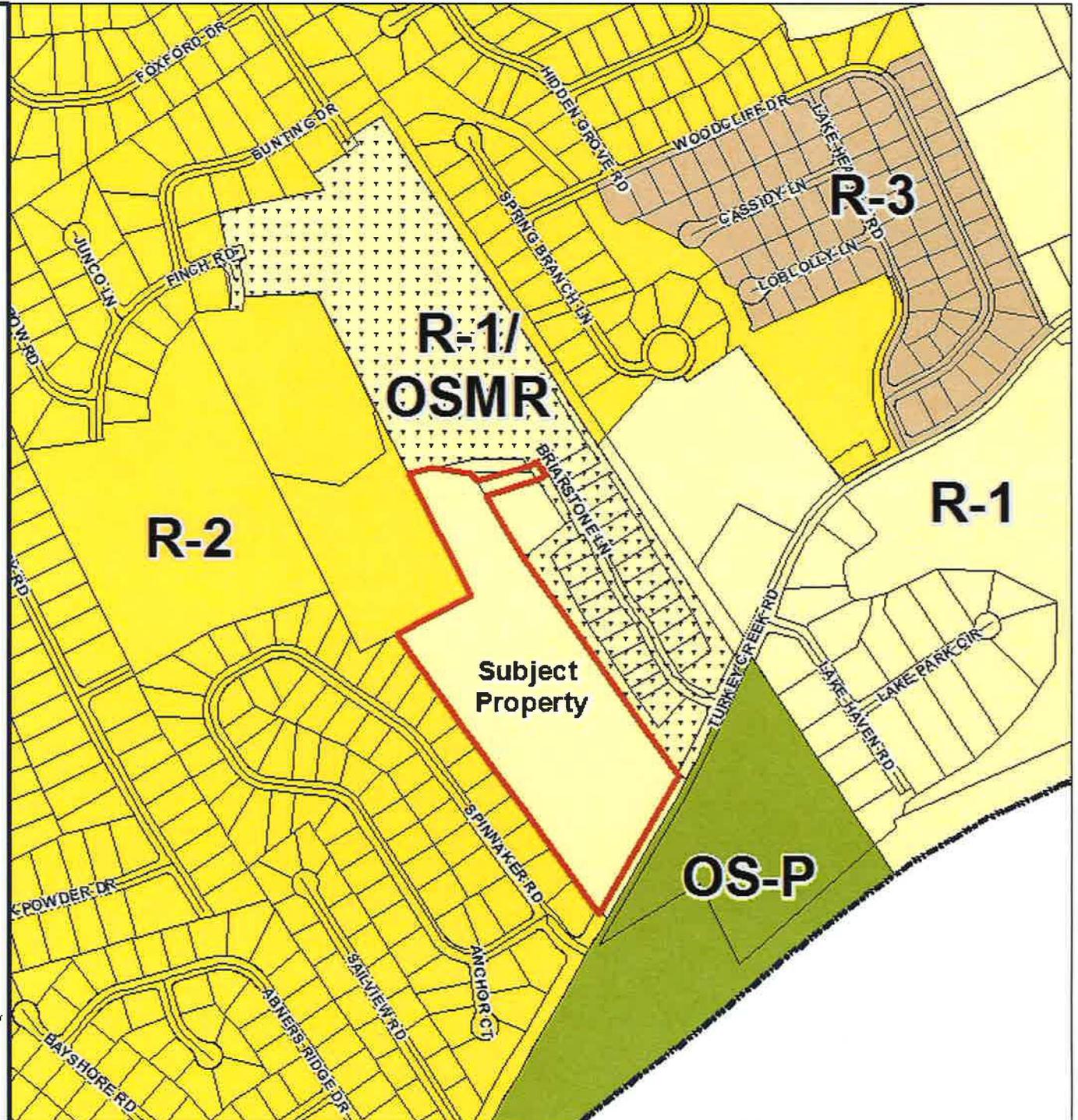
From
Rural Single Family
Residential (R-1)
to
Small Lot Single Family
Residential (R-3)

Legend

-  Town Limit
-  Streets
-  Smith Property
-  Parcels
-  OS-P, Open Space/Park
-  R-1, Rural Single-Family Residential
-  R-2, General Single-Family Residential
-  R-3, Small Lot Single-Family Residential
-  OSR, Open Space Residential Overlay
-  OSMR, Open Space Mixed Residential Overlay



1 in = 524 ft



APPLICATION TO AMEND ZONING MAP

TOWN OF FARRAGUT, TENNESSEE

FOR OFFICE USE ONLY

Fee Paid: _____

APPLICANT NAME: SITE INCORPORATED
Address: 10215 TECHNOLOGY DRIVE SUITE 304 City/State/Zip: KNOXVILLE TN 37932
Phone Number: 865-777-4170 Fax Number: 865-777-4189
E-mail: DROBINETTE@SITE-INCORPORATED.COM

DESCRIPTION OF PROPERTY (Attach map of property):
Address: 11739 TURKEY CREEK ROAD Size of Tract: 16.38 ACRES
Lot(s)/Parcel(s) No.: 59.07 Tax Map No. 152

Previous Rezoning Applications: _____

Change Requested:
From: R-1 To: R-3

Proposed Use of Property (Be specific): RESIDENTIAL

Existing Land Use: 1 house w/ PASTURE

ALL OWNERS OF PROPERTY INVOLVED MUST SIGN OR NAMES MUST BE LISTED:

NAME	ADDRESS (Street/City/Zip)	PROPERTY OWNED
<u>GEORGE & PATRICIA SMITH</u>	<u>11739 TURKEY CREEK Rd</u>	<u>100%</u>

I HEREBY CERTIFY THAT THE OWNERS OF ALL PROPERTY INVOLVED IN THIS REQUEST HAVE SIGNED OR ARE LISTED ABOVE AND HAVE CONSENTED TO THIS APPLICATION.

APPLICANT SIGNATURE

DATE

OR

I HEREBY CERTIFY THAT I AM THE LEGAL REPRESENTATIVE FOR ALL OWNERS INVOLVED IN THIS REQUEST.

David O Rohlf - SITE INCORPORATED

2-22-16

NAME (SIGNATURE)

DATE

10215 TECHNOLOGY DRIVE SUITE 304 KNOXVILLE TN 37932 865-777-4170
Street Address/City/State/Zip Telephone Number

TOTAL AREA = 16.377 AC

Certificate of Electric, Gas and Telephone Availability

This is to certify that every lot within this subdivision has available to it a source for the service identified by signature(s) below which service source is adequate to accommodate the reasonable needs of such lot as to such service with such subdivision.

2-23-15 Date GAS *Shay Stupak KUB*
 Name, Title & Agency of Authorized Approving Agent
 2/23/15 Date ELECTRIC *Michael H. HED KUB*
 Name, Title & Agency of Authorized Approving Agent
 2-23-15 Date TELEPHONE *Thomas J. TDS*
 Name, Title & Agency of Authorized Approving Agent

CERTIFICATE FOR STREET APPROVAL

I certify that streets, sidewalks, and other required improvements have been installed in an acceptable manner and according to Town specifications, or that a security bond in the amount of \$50,000 has been posted with the Planning Commission to ensure completion of all required improvements in case of default. Streets (or) public streets maintained at public expense.

2/23/15 Date *A. J. Smith*
 TOWN ENGINEER
 License No.: 20,789

CERTIFICATE OF APPROVAL FOR RECORDING

I hereby certify that the subdivision plot shown here has been found to comply with the Subdivision Regulations for Farragut, Tennessee, with the exception of such variances, if any, as are noted in the minutes of the Planning Commission and that it has been approved for recording in the Office of the County Register of Deeds.

2/23/15 Date *Earl K. Whit*
 Secretary, Planning Commission

CERTIFICATE OF APPROVAL OF STREET NAMES

This is to certify that the subdivision shown hereon has been reviewed for compliance with the Knox County Uniform Street Naming & Addressing System Ordinance, and the road names are hereby approved for recording.

2/25-15 Date *D. Hill*
 Knox County Addressing Division / Date

CERTIFICATE OF APPROVAL OF WATER SYSTEM

I hereby certify that it has been certified to us that the water system(s) outlined or indicated on the final subdivision plot entitled ERNSTSTONE SUBDIVISION PHASE 1 - has been installed in accordance with current local and state government requirements.

2/26/15 Date *George Smith*
 Authorized Approving Agent

I certify that this plat qualifies under the provisions of Section 13-3-401 of the Tennessee Code, Annotated and is exempt from the requirements of the Knoxville/Knox County Minimum Subdivision Regulations, because (a) no new street or utility construction is required, and (b) all resultant tracts are five (5) acres or greater in size.

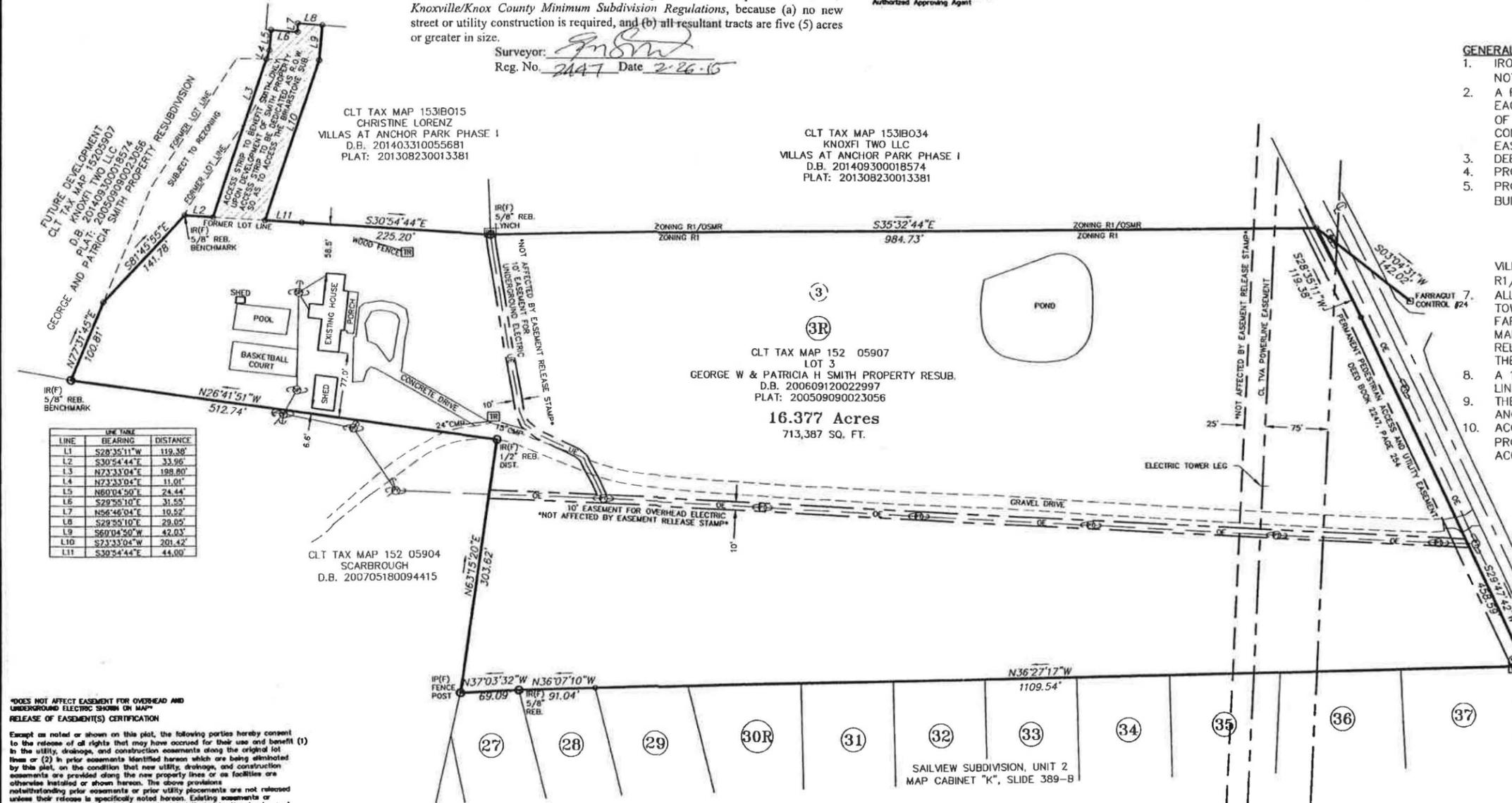
Surveyor: *George Smith*
 Reg. No. 2447 Date 2-26-15



LOCATION MAP NO SCALE

GENERAL NOTES

- IRON PINS SET AT ALL CORNERS, BY THIS SURVEY, UNLESS OTHERWISE NOTED. (FINAL PLAT)
 - A FIVE (5') FOOT UTILITY, DRAINAGE AND CONSTRUCTION EASEMENT ON EACH SIDE OF INTERIOR LOT LINES, A TEN (10') FOOT UTILITY, DRAINAGE AND CONSTRUCTION EASEMENT ON INSIDE OF ROAD RIGHTS-OF-WAY AND EXTERIOR LOT LINES.
 - DEED REFERENCE: INSTRUMENT NO. 200609120022997
 - PROPERTY SHOWN ON CLT 152 05907
 - PROPERTY ZONE R1 (LOW DENSITY RESIDENTIAL DISTRICT) MINIMUM BUILDING SETBACKS FOR (R1) ZONING ARE AS FOLLOWS:
 FRONT YARD: 35 FEET
 SIDE YARD: 40 FEET TOTAL
 NOT LESS THAN 15 ON ONE SIDE
 REAR YARD: 25 FEET
- VILLAS AT ANCHOR PARK AND FUTURE DEVELOPMENT ARE ZONED R1/OMSR 6. TOTAL AREA : 16.378 ACRES
 ALL WALKING TRAILS SHALL HAVE A 20' EASEMENT IN FAVOR OF THE TOWN OF FARRAGUT AND ARE RESERVED FOR PUBLIC USE. TOWN OF FARRAGUT SHALL ACCEPT MAINTENANCE AND LIABILITY OF TRAILS AND EASEMENTS UPON THE RELEASE OF THE 2-YEAR MAINTENANCE LETTER OF CREDIT RELATED TO THE WALKING TRAILS.
 A 15' UTILITY EASEMENT EXISTS, 7.5 EITHER SIDE OF WATER AND SEWER LINES AS INSTALLED.
 THE PURPOSE OF THIS PLAT IS TO MOVE LOT LINES COMMON WITH LOT 15 ANCHOR PARK PHASE I AND FUTURE DEVELOPMENT OF ANCHOR PARK ACCESS STRIP TO FUNCTION AS AN ACCESS EASEMENT TO BENEFIT SMITH PROPERTY (LOT 3R) ONLY UPON DEVELOPMENT OF SMITH PROPERTY ACCESS STRIP TO BE DEDICATED AS R.O.W.

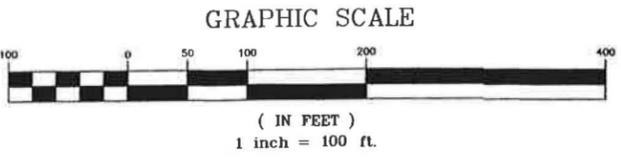


LINE	BEARING	DISTANCE
L1	S28°35'11\"W	119.38'
L2	S30°54'44\"E	33.96'
L3	N23°33'04\"E	198.80'
L4	N73°33'04\"E	11.01'
L5	N60°04'50\"E	24.44'
L6	S28°55'10\"E	31.55'
L7	N56°46'04\"E	10.52'
L8	S28°55'10\"E	29.05'
L9	S60°04'50\"W	42.03'
L10	S73°33'04\"W	201.42'
L11	S30°54'44\"E	44.00'

SYMBOL LEGEND	
	IRON PIN (SIZE&TYPE)
	IRON PIN SET
	POWER BOX
	TELEPHONE RISER
	GUY WIRE
	SEWER MANHOLE
	SERVICE POLE
LINE LEGEND	
	OVERHEAD ELEC.

*DOES NOT AFFECT EASEMENT FOR OVERHEAD AND UNDERGROUND ELECTRIC SHOWN ON MAP
 RELEASE OF EASEMENT(S) CERTIFICATION
 Except as noted or shown on this plat, the following parties hereby consent to the release of all rights that may have accrued for their use and benefit (1) in the utility, drainage, and construction easements along the original lot lines or (2) in prior easements identified hereon which are being eliminated by this plat, on the condition that new utility, drainage, and construction easements are provided along the new property lines or on facilities are otherwise installed or shown hereon. The above provisions notwithstanding prior easements or prior utility placements are not released unless their release is specifically noted hereon. Existing easements or placements shown hereon will not be adversely affected by the development of herein proposed.

Signature (sewer) Date: *George Smith* 2/26/15
 Signature (water) Date: *George Smith* 2/26/15
 Signature (electricity) Date: *Michael H. HED* 2/23/15
 Signature (gas) Date: *Shay Stupak* 2-23-15
 Signature (telephone) Date: *Thomas J. TDS* 2-23-15
 Signature (cable) Date: *A. J. Smith* 2/23/15



Page: 5 OF 5
 201502270046111

COUNTERSIGNED
 KNOX COUNTY PROPERTY ASSESSOR
 FEB 27 2015
 BY: *Phil Ballard*

Certificate of Ownership and Dedication
 I, (we) hereby certify that I am (we are) the owners of the property shown and described hereon and that I (we) hereby adopt this plan of subdivision with my (our) free consent, establish the minimum building restriction lines, and dedicate all streets, alleys, walks, parks, and other open space to public or private use as noted.
 2/25/15 Date *George Smith*



CERTIFICATE OF SURVEY ACCURACY
 I hereby certify that the plan shown and described hereon is a true and correct survey to the accuracy required by the Farragut Municipal Planning Commission and that the monuments have been placed as shown hereon, to the specification of the Subdivision Regulations. This is a Category 1 Land Survey and the ratio of precision of the unadjusted survey is 1 inch to 10,000.
 02/09/15 Date *George Smith*
 Registered Surveyor
 No. 2447



MEETING DATE: April 21, 2016

REPORT TO THE FARRAGUT MUNICIPAL PLANNING COMMISSION

PREPARED BY: Mark Shipley, Community Development Director

SUBJECT: Discussion on a request to amend the front yard setback provisions in commercial zoning districts (MBH, Inc., Applicant)

INTRODUCTION AND BACKGROUND: This workshop discussion involves a request to revisit front yard setback requirements in commercial zoning districts (and potentially office zoning districts) in order to provide for an incentive to place buildings closer to abutting public streets. Currently, as shown in the diagrams included in your packet, in the C-1, General Commercial Zoning District, the front yard building setbacks are determined by the proposed placement of driveway aisles and parking lots. Where a parking lot is proposed in the front yard, the building must be set back at least 80 feet from the front property line (assuming the required right of way has been provided). Where only a driveway aisle is proposed in the front yard the building can be moved 20 feet closer to a 60 foot setback requirement. Where neither a driveway aisle nor a parking lot are proposed in the front yard, the building setback is 40 feet.

Consequently, the Town's zoning ordinance currently provides for flexibility in terms of building setbacks in a front yard. However, since the minimum setback for a parking lot in a front yard is 20 feet, the current provision for a 40 foot building setback where no parking is proposed in the front yard actually creates a disincentive to place parking to the side or behind the building in relation to the front yard. There is effectively with this option a 20 foot area of unusable space should someone wish to place a building closer to the street.

The request at this time is to amend the current building setback requirements where no driveway aisle or parking lot are proposed in the front yard so that a building could be placed up to 20 feet from the front property line.

From the staffs' perspective, this amendment would provide for a number of advantages:

- 1) The 20 foot unusable space would be eliminated. Parking could be placed parallel with the building since the building and the parking lot would both be required to meet a 20 foot setback;
- 2) Bringing the building closer to the street could provide for the opportunity to divide a parking lot into smaller pods, as encouraged in the Architectural Design Standards (ADS). Instead of the parking being placed in the front yard between the street and the building, parking could be divided up with some placed to the sides of the building and some behind the building;
- 3) Related to this, the ability to place a building closer to the public street could provide for a more aesthetically pleasing streetscape where a building's architecture is highlighted rather than a large paved area;
- 4) The ability to place a building closer to the street can improve the visibility and effectiveness of building mounted signage (though careful consideration should be given to the appearance of such signs so as not to compromise the building's attractiveness);

- 5) Placing the parking to the rear of a building could extend the stacking distance between the public street access and the access to the parking lot. This could lessen potential conflict points and movements;
- 6) Providing for the ability to place a building closer to the street promotes a number of objectives in the Town's Architectural Design Standards.

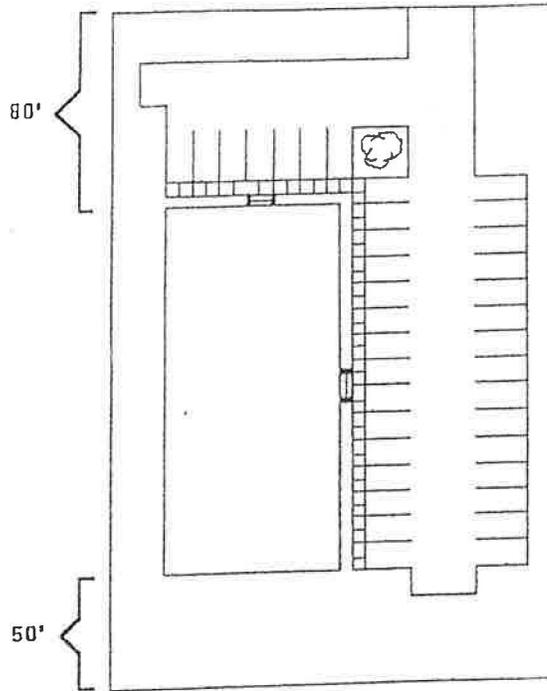
The Town's front yard setback requirements were discussed in depth as part of the development of the BD-4, Business District Four Story, Zoning District. A minimum setback of 20 feet from all front property lines and access easements was established in that district. When the C-1/Mixed Use Town Center amendment was presented and approved it provided for all principal buildings to be set back a minimum of ten (10) feet from all property lines and access easements. And, most recently, when the amendments to the S-1, Community Service, Zoning District were approved those amendments included the following language in relation to front yard setbacks:

- a. *Front yard. All structures, including parking lots, shall be set back a minimum of twenty (20) feet from the nearest point of any right of way. This excludes signage (which would be subject to the provisions in the sign ordinance), detention basin structures (if associated with a low impact development measure), and/or non-roofed structures that provide for pedestrian engagement with the public street (such as outdoor patios, pedestrian facilities, sitting areas, public art). With the exception of linear pedestrian facilities that connect to similar facilities in the right of way, no structures shall encroach into the public right of way and/or platted utility easements.*
Service areas and their associated structures (e.g. dumpsters, loading areas, utility buildings) shall be located to the side or rear of a building so as to minimize visual impacts from the street and foster a more pedestrian friendly streetscape.

It was noted when the S-1 amendments were presented and approved that they could serve as a template for future zoning ordinance text amendments since many of the new S-1 provisions were taken from different policies and standards provided for in the Town's CLUP and ADS. The staff would support similar language in not only the commercial districts but also the office districts. By doing so an applicant that may wish to place a building closer to the street with the parking to the side and/or rear would be able to accomplish this in a manner that would not lessen the usable space of the property.

An additional provision that the staff would also propose for consideration in all commercial and office zoning districts and that would be consistent with the standards in the ADS is the following language from the BD-4 Zoning District that addresses the screening of parking areas in a front yard.

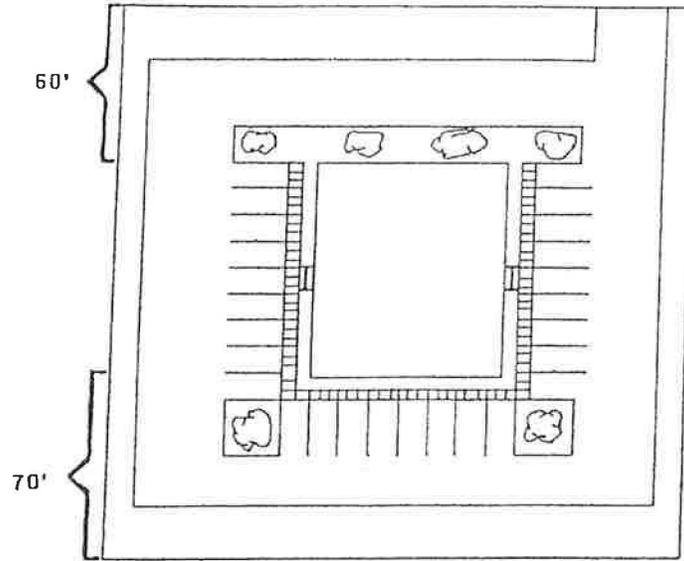
"When a parking lot is constructed adjacent to a front property line, a berm shall be constructed or landscaping shall be planted so as to limit the viewability of the parking lot from the street. A minimum of sixty (60) percent of the total parking lot length adjacent to the front property line shall be screened from view with a berm or landscaping."



PARKING ALLOWED IN FRONT YARD

Minimum Front Yard Setback: 80 Feet

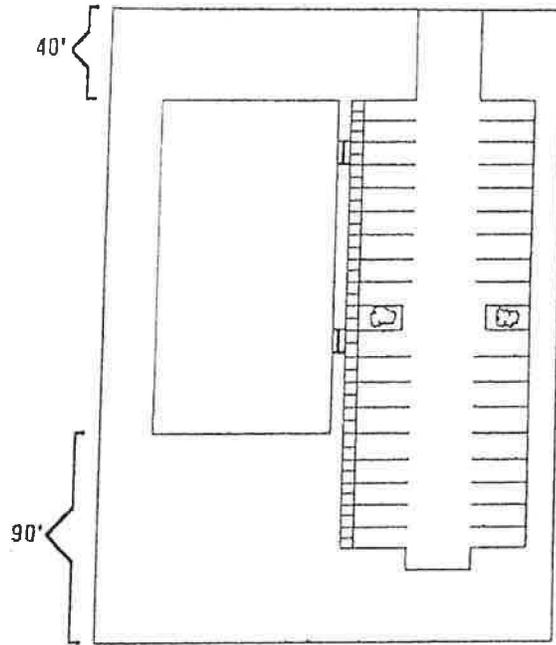
ILLUSTRATION 6: General Commercial District (C-1)
Area Regulations



DRIVEWAY AISLE ALLOWED IN FRONT YARD

Minimum Front Yard Setback: 60 Feet

ILLUSTRATION 7: General Commerical District (C-1)
Area Regulations



NO PAVEMENT ALLOWED IN FRONT YARD

Minimum Front Yard Setback: 40 Feet

ILLUSTRATION 8: General Commerical District (C-1)
Area Regulations







MEETING DATE: April 21, 2016

REPORT TO THE FARRAGUT MUNICIPAL PLANNING COMMISSION

PREPARED BY: Mark Shipley, Community Development Director

SUBJECT: Discussion of creating a Mixed Use Neighborhood (MUN) Commercial District

INTRODUCTION AND BACKGROUND: This item was introduced last month and the staff conducted a visual preference exercise as part of the workshop session to solicit feedback on building form, building placement, outdoor gathering spaces, and roof form. Though the general concept of a MUN was favorably received, there were some commissioners that questioned whether the Town was ready for such a land use and where such a land use would be situated.

As indicated last month, the CLUP provides for a Mixed Use Neighborhood land use description on Page 28. The CLUP also includes on the future land use map some locations that could be potential candidates for a MUN Zoning District. The Town's Architectural Design Standards also reference the MUN land use in relation to the guidelines for specific subareas. Additionally, one of the priorities of the Farragut Board of Mayor and Aldermen (FBMA) was to explore the creation of a Mixed Use Neighborhood (MUN) Zoning District.

At this workshop session the staff will explore some specific components of what would likely be included in a MUN. This discussion will consider:

- 1) Permitted Uses;
- 2) Mixed use buildings and the extent to which they would be part of a Farragut MUN;
- 3) Tract size, density, and how the mixture of uses could be applied depending on tract size;
- 4) Dimensional standards (lot size, lot width, yard setbacks, height, and lot coverage);
- 5) MUN design standards – non-residential buildings (footprint, orientation, windows, walls, and roofs, consistency with residential buildings in MUN);
- 6) Street layouts and parking;
- 7) Open space;
- 8) Signs.

Included in your packet and in order to facilitate a better understanding of some of the considerations associated with a MUN, the staff has include some information from Montgomery County, Pennsylvania and their effort to develop a Village Mixed Use District. The elements that are outlined in this document are targeted to the considerations that should be given to smaller, more village and residential scale, mixed use district. The clear differences between a Mixed Use Town Center and an MUN are evident in the design elements described in this document.



Single-family detached home



Library



Multifamily (apartments)



Retail store

Permitted Uses

A mixed use district should permit a wide variety of uses that can complement each other and mimic the character of a traditional village.

The following uses are permitted in the VMU District:

- Single-family detached homes
- Single-family semi-detached (twins)
- Single-family attached (townhouses)
- Multifamily (apartments)
- Stores and restaurants
- Hotels and bed and breakfast places
- Offices
- Schools, libraries, churches, etc.

Automobile-oriented uses should be prohibited. These uses detract from the pedestrian environment and conflict with residential uses.



Mixed use street scene at Richmond Square



Mixed use building at Richmond Square



Live/work units in Eagleview

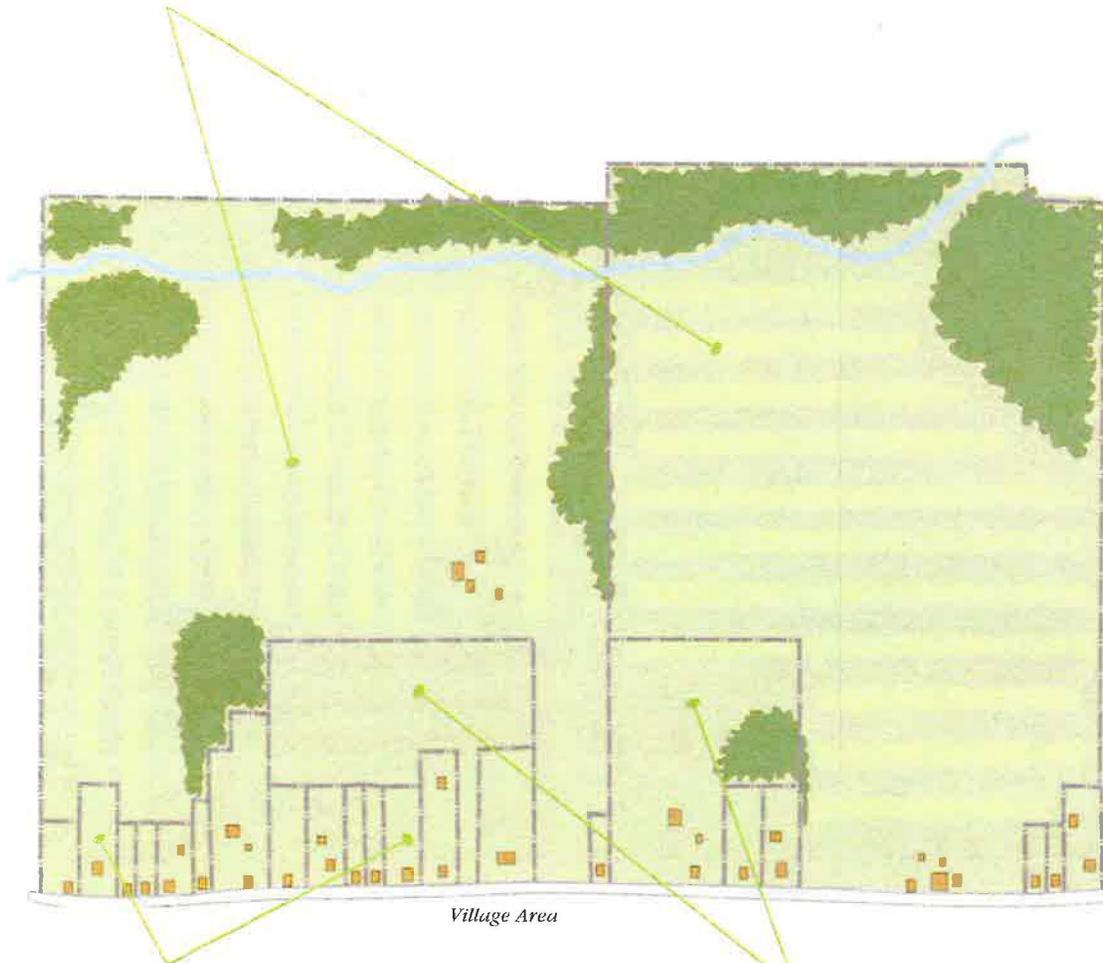
Mixed Use Buildings

In addition to allowing individual land uses, the VMU District allows uses to be mixed within buildings. For example, offices can be located above a restaurant, or apartments can be over stores.

The VMU District defines a Mixed Use Building, which is listed as a separate use, as a building with non-residential uses on the ground floor and multifamily residential uses on one or more upper levels.

Non-residential uses can always be mixed within a single building, which is often done in commercial areas, such as a shopping center that has stores, restaurants, offices, and banks.

TRACTS 30 ACRES OR GREATER
(must have full mix of uses)



TRACTS UNDER 5 ACRES
(variety of uses is permitted)

TRACTS 5 TO 30 ACRES
(must have full mix of residential uses)

Tract Size and Use

The VMU District is designed for village areas with a variety of tract sizes, ranging from smaller village lots to large farms adjoining the village. Larger properties are required to have a mix of uses.

Tracts under 5 acres

For tracts of 5 acres or less, the VMU District allows a range of uses, including residential and non-residential ones. Any of these uses is permitted, provided the use meets the requirements of the VMU District, including preservation of existing historic buildings.

Tract of 5 to 30 acres

For tracts of 5 to 30 acres, the VMU District allows either mixed residential or mixed use development that contains residential and non-residential uses. This tract size is large enough to support a mix of uses, like existing villages, but probably too small to require the mix to always include residential and non-residential uses.

Tracts 30 acres or larger

For tracts that are 30 acres or larger in size, the VMU District requires mixed use development that includes residential and non-residential uses. This tract size is large enough to allow a reasonable amount of each type of development to occur, making it easier for developers to create a well-functioning community.

NON-RESIDENTIAL LOTS

RESIDENTIAL LOTS



Overall Mix in a Mixed Use Development on Example Property

Overall Mix Requirements

To create a more diverse, walkable, and historically-compatible community, the VMU District contains extensive mixing requirements for tracts over 30 acres.

The table below shows the requirements in the model ordinance as well as the results from the example layout. Each broad use is allowed to consume some of the overall tract's acreage, with a minimum required amount and a maximum required amount. The mix of uses is measured by the land area consumed by these uses.

Example Property

Use	Zoning Minimum %	Zoning Maximum %	Example Acres	Example of Total %
Non-Residential	5%	25%	6.6	17%
Residential	20%	65%	18.5	46%
Open Space	20%	—	9.0	23%
Streets	—	—	5.9	15%
Total	100%	100%	40.0	100%



Residential Mix Requirements

Residential portions of Mixed Use Developments (on tracts of 30 acres or more) and Mixed Residential Developments (on tracts of 5 to 30 acres) must contain a variety of housing types. This creates a more varied community and mimics the variety found in traditional towns and villages.

The mix of residential housing types is measured by percent of the total number of housing units in a development.

Example Property

Residential Type	Zoning Minimum %	Zoning Maximum %	Example # of Units	Example % of Total
Village Home	15%	50%	30	17%
Twin	15%	50%	64	37%
Apartment	15%	50%	80	46%
Total	100%	100%	174	100%

NON-RESIDENTIAL LOTS (these are not included in the density calculation)



Density Calculation in a Mixed Use Development on Example Property



Overall Density of 6 Dwelling Units Per Acre (includes apartments, townhouses, and singles)

Residential Density

Village-style developments should have relatively small lots with buildings close to each other. They should also have plenty of green areas and yards. A density of about 6 dwelling units per acre provides this balance between a walkable, mixed use development and a green, small town character.

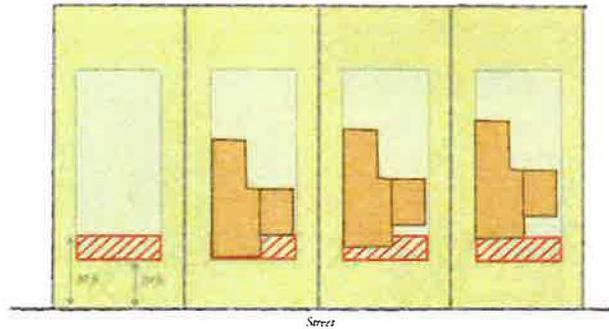
Density on Example Property

Total Gross Area	40 Acres
- Non-Residential Lot Area	6.6 Acres
= Residential Acreage	33.4 Acres
<hr/>	
Total Dwelling Units	174 Units
÷ Residential Acreage	33.4 Acres
= Density (dwellings per acre)	5.2

Dimensional Standards

Villages have traditional layouts and should have zoning standards that fit this traditional layout, including appropriate lot size, lot width, yard setback, height, and coverage regulations. Communities will need to tailor these dimensional regulations to their specific village situation.

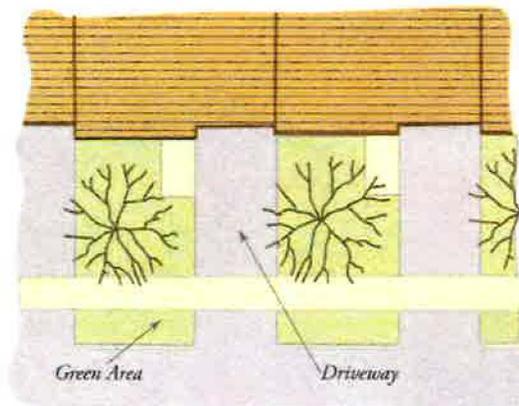
- Instead of a front yard setback, the VMU District has a front façade location where the front façade of buildings must be placed. This requirement limits buildings from being too close or too far from the street.
- Because buildings should be further from high-volume, high-speed roads, the ordinance requires front facades to be further back from these roads. However, if the VMU district is being applied to an existing village, the setback from the main street will probably move new buildings too far back. In this case, a regulation requiring buildings to match the existing building street line should be added.
- In many new small lot and townhouse developments, the front yards are dominated by driveways or completely paved over. To minimize this problem, the VMU district requires green space in the front yard.



 = Area where front facade can be located



Historic village buildings are close to the street



Green area in front yard



Half or more of front yards should be green area



Commercial next to village



Variety of uses along street



Village green in center



Walkable streetscape



Interconnected streets



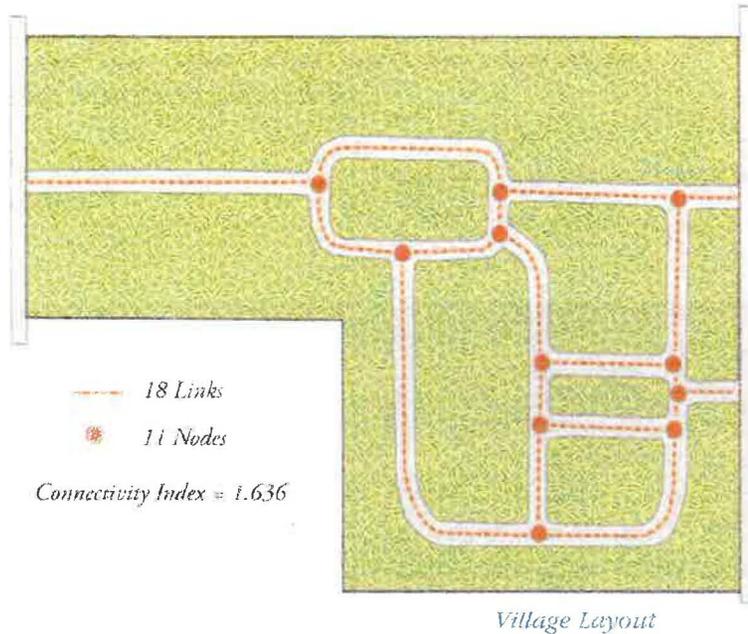
Mixture of housing types

General Layout

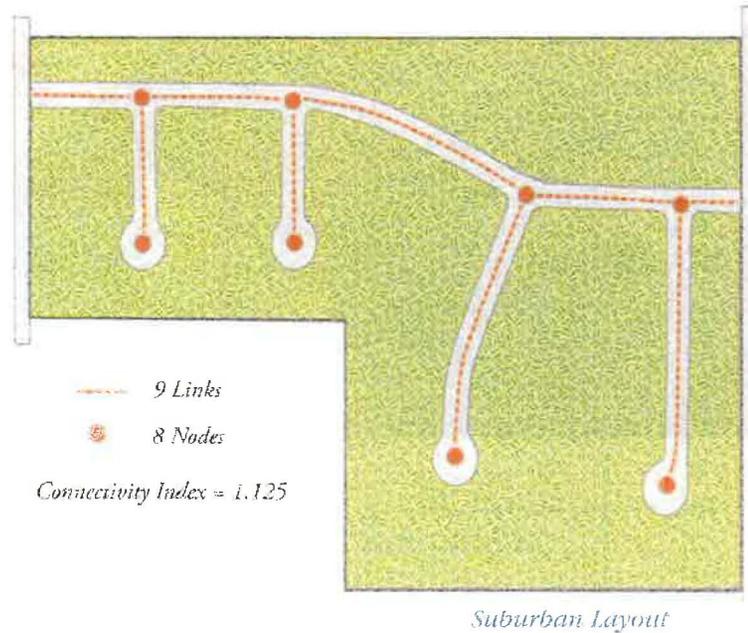
Mixed use developments should be laid out to encourage walking, biking, and use of public transportation, in addition to use of the car.

- Commercial uses should be located near existing retail areas, historic villages, existing collector or higher classification streets, and proposed primary parks and central greens.
- Commercial buildings should be close to the street, grouped together, and connected to residential areas.
- Residential housing types should be mixed within developments rather than segregated into different areas. To provide a measurable means of judging this mix, the VMU District limits the number of homes of the same type that may be located along the same side of a street without a break created by open space or different types of homes.

BUILD STREETS LIKE THIS



INSTEAD OF THIS



Street Layout

The VMU District requires interconnected streets laid out as a grid or modified grid. This type of street system moves traffic relatively equitably among all the streets, gives drivers alternative routes to reach their destinations, and establishes a sense of community by allowing all streets to lead to community focal points.

The model ordinance also includes a unique regulation, called the street connectivity index. This index is derived by dividing the number of new street links by the number of new street intersections/permanent cul-de-sac heads. The two examples to the left show a village style layout, which exceeds the minimum ordinance street connectivity index of 1.40, and a typical suburban layout, which does not meet the index.

Street Connectivity in Village Layout

New street sections	18 Links
÷ New intersections/cul-de-sacs	11 Nodes
= Connectivity Index	1.636

Street Connectivity in Suburban Layout

New street sections	9 Links
÷ New intersections/cul-de-sacs	8 Nodes
= Connectivity Index	1.125

PITCHED ROOF

(dormers, steeples, and gable provide variation)

FRONT DOORS

(front doors are easy to see and enter)



FRONT FAÇADE CLOSE TO STREET

(building is 18 feet from curbline)

LARGE WINDOWS

(40% to 75% window area along façade)

SMALL BUILDING FOOTPRINT

(approximately 7,000 square foot footprint with four stores)

Non-Residential Building Design Standards

Commercial and other non-residential buildings should have a size, scale, design, and character that has a village character, encourages walking, and fits in with the residences in the rest of the development.

- **Building Footprint.** To keep buildings smaller, the building footprint may not exceed 7,000 square feet. (Nowadays, grocery stores are over 50,000 square feet, fast food restaurants are about 4,000 square feet, and large drug stores are over 10,000 square feet.)
- **Building Orientation and Entrance.** In many communities, most of the commercial buildings are surrounded by parking lots. The VMU District requires these buildings to be close to the street, with public doors facing the street.
- **Windows.** To create an interesting walking environment and small-town character, commercial buildings must have windows along their facades facing streets.
- **Walls.** Attractive and varied walls should be located along streets, walkways, and parking areas to create a more hospitable walking environment.
- **Roofs.** To create a village character, pitched roofs are required. Flat roofs will work as well, but they are less "village" like.

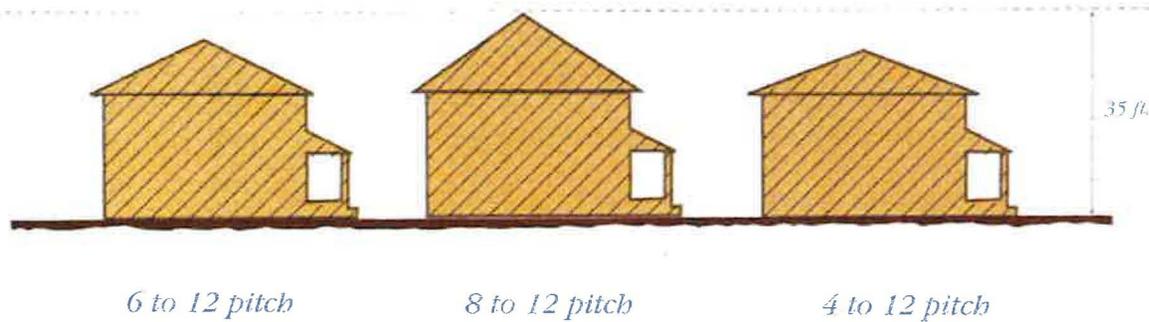


Apartments at Wetherburn Commons



Village house in Lantern Hill

Roof Pitch



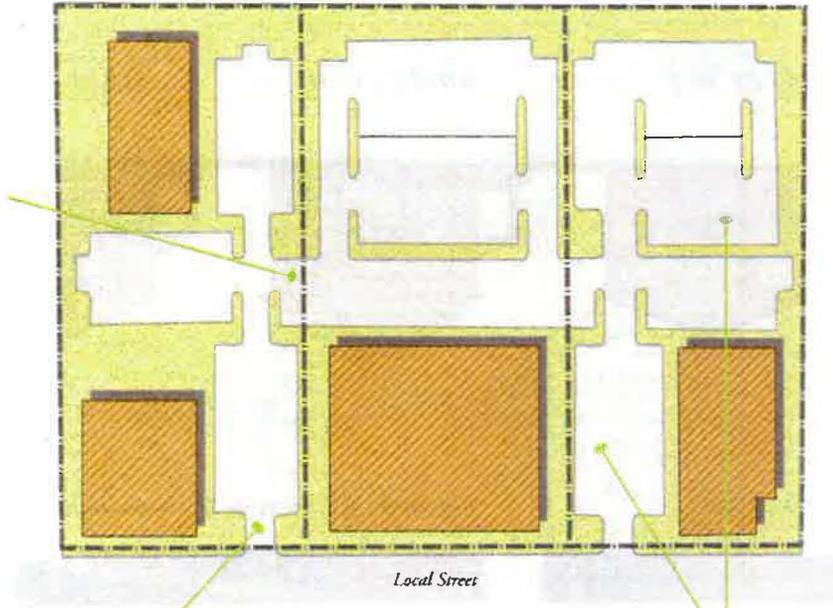
Residential Building Design Standards

Residential buildings should also have a small town, old-fashioned character.

- Village homes must have unenclosed porches, garages behind the house, and raised first floor levels or front yards.
- All homes should have pitched roofs. The roof pitch in many older homes is 8 vertical inches to every 12 horizontal inches, or more. However, because some housing types and modern builders use a softer slope, the VMU District allows a slope of 6 vertical inches to 12 horizontal inches.
- Apartment buildings are allowed a maximum of 8 units per building, with no side of the building exceeding 80 feet. This makes the scale of apartments similar to single-family detached homes.

Non-Residential Parking

*Interconnected
Parking Lots*



Common Driveway

Parking to Side and Rear



Commercial with on-street and rear parking



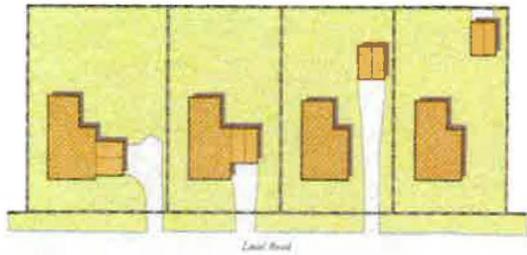
Apartments with on-street and rear parking

Parking Standards

Controlling the location, orientation, and appearance of garages, parking lots, and off-street parking spaces is critical for creating a sense of community and a walkable neighborhood. The VMU District requires different land uses to meet specific garage, parking lot, and off-street parking requirements:

- Non-Residential Parking.**
Non-residential parking lots must be located to the side and rear of non-residential buildings to make access to the buildings easier for pedestrians walking along streets.

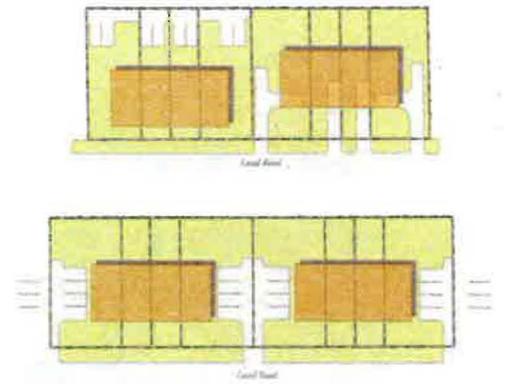
To reduce congestion on the street and to create a safer street environment, all non-residential uses are required to connect their parking areas, thereby allowing traffic to move from one parking lot to the next instead of traveling back onto the street.
- Multifamily (apartment) Parking.**
For apartment buildings, off-street parking must be located to the side or rear of the building. If located to the side as surface parking, the parking area should be screened with a wall and landscaping.



Alternative garage locations for single homes



Alley and garages for single homes



Alternative townhouse parking arrangements

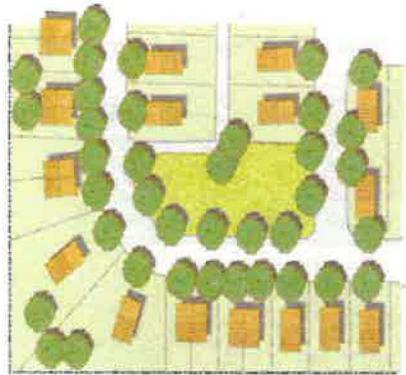


Townhouses with parking in rear

Parking Standards

To retain a historic village character, garages should not be dominant features from the street.

- Single-Family Detached and Twin Parking.** Single-family detached and twin homes are allowed to have side-loaded garages, front-loaded garages set back at least 10 feet from the front façade, garages in the rear of homes, and garages that get their access from alleys. Municipalities may want to limit the percent of homes that can have attached, front-facing garages or may to prohibit this style of garage altogether.
- Single-Family Attached (Townhouse) Parking.** Parking for townhouses can be arranged a variety of ways, depending on whether a townhouse is an interior unit or an end unit. On end units, the parking must be to the side or rear. Side loaded garages are permitted. For interior units, parking garages may face the street but may comprise no more than 30% of the total area of the front façade elevation.



Village Green



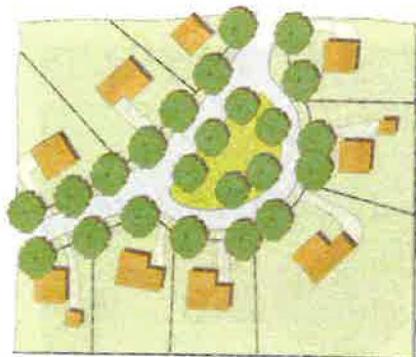
Village Green at Brighton



Landscaped Median



Landscaped Median in Kissel Hill



Eyebrow



Eyebrow in Woodmont

Open Space

Although mixed use village areas are densely developed places, they also have extensive greenery. They are not cities.

To create more open space and green areas, the VMU District requires 20% open space for larger developments. Half of the required open space, or 10% of the total, must be prominent open space, inserted in the middle of the development. This central open space can have four basic designs:

- **Village Greens.** Village greens are focal points for the community, with buildings facing the green. Greens are relatively large, 10,000 square feet or bigger, and designed for frequent use.
- **Landscaped Medians.** Landscaped medians provide landscaping and tree cover in streets. They are often used as entranceways.
- **Eyebrows.** Eyebrows are small parks, surrounded by roads. They are shifted to the side of a through road. Homes face the eyebrow.
- **Cul-de-Sac Islands.** Cul-de-sac islands provide landscaping and greenery in the bulbs of cul-de-sacs.

Primary Park Improvements



Arbor and fountain in Sunnybrook Village



Gazebo at Weatherstone



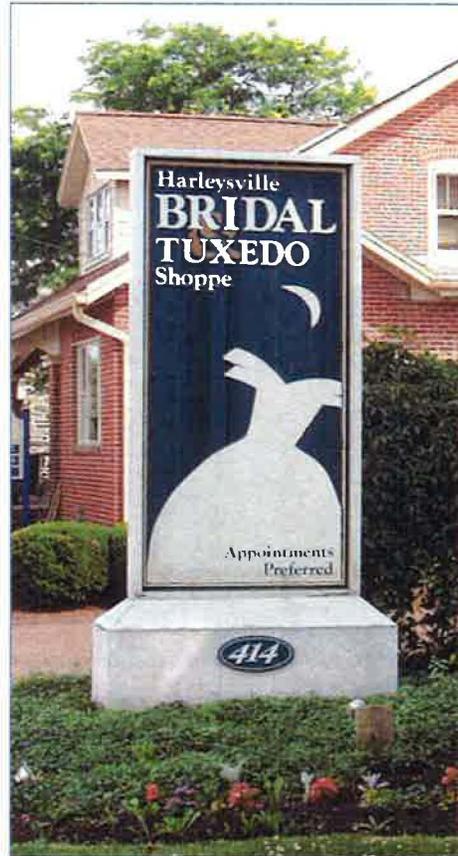
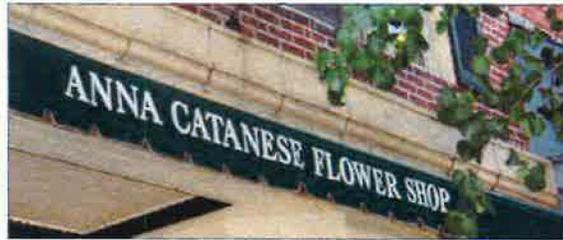
Pond at Eagleview



Fountain in Brighton

Primary Park

Each development with central open space must have a primary park, in the form of a village green, that is located near the center of the development. This park must be walkable from all parts of the development and must have unique improvements designed to attract people, such as gazebos, pavilions, ponds, fountains, etc.



Signs

To support a village character, signs should be relatively small and minimally lit.

Because signs are normally regulated in a separate sign ordinance, the Village Mixed Use District model ordinance does not include sign regulations. Nevertheless, communities may want to put standards for village signage into their sign ordinance. The following standards provide a rough guide to the type of regulations that might be appropriate.

- Freestanding signs should not be taller than 8 feet or larger than 10 to 15 square feet.
- Walls signs should be designed for a pedestrian scale only.
- Pole signs should be prohibited or limited to materials and design that have a historic character. Monument signs are more appropriate.
- Signs should be externally lit or not lit at all.

REPORT TO THE FARRAGUT MUNICIPAL PLANNING COMMISSION

PREPARED BY: G. Palmer, Assistant Town Manager
SUBJECT: FY 2017 Capital Investment Plan
Attachments: FY 2017 CIP PowerPoint Slides

G. Palmer

Digitally signed by G. Palmer
DN: cn=G. Palmer, o=Town of Farragut, TN, ou=Assistant Town
Manager, email=gpalmer@townof Farragut.org, c=US
Date: 2016.04.07 09:48:19 -0400

INTRODUCTION: At your April 21, 2016 meeting I will be presenting the proposed FY 2017 capital projects. The CIP projects are derived from the management’s perceived need and prioritized based on that need and available funding. Additionally, these projects were discussed at varying levels during the Board’s 2016 strategic planning retreat. The projects were then presented to the BOMA at a workshop during their March 24, 2016 meeting. Per the TCA and as reflected in the Town’s Ordinance, the FMPC is charged with reviewing all capital improvements and making a recommendation to the governing body.

Whenever the commission shall have adopted the plan of the municipality or any part thereof, then and thenceforth no street, park or other public way, ground, place or space, no public building or structure, or no public utility, whether publicly or privately owned, shall be constructed or authorized in the municipality until and unless the location and extent thereof shall have been submitted to and approved by the planning commission; provided, that in case of disapproval, the commission shall communicate its reasons to the chief legislative body of the municipality, and such legislative body, by a vote of a majority of its membership, shall have the power to overrule such disapproval and, upon such overruling, such legislative body shall have the power to proceed; provided, that if the public way, ground, place, space, building, structure or utility be one the authorization or financing of which does not, under the law governing the same, fall within the province of such legislative body, then the submission to the planning commission shall be by the state, county, district, municipal or other board or official having such jurisdiction, and the planning commission's disapproval may be overruled by such board by a majority vote of its membership, or by such official. The widening, narrowing, relocation, vacation, change in the use, acceptance, acquisition, sale or lease of any street or public way, ground, place, property or structure shall be subject to similar submission and approval, and the failure to approve may be similarly overruled. The failure of the commission to act within thirty (30) days from and after the date of official submission to it shall be deemed approval, unless a longer period be granted by such chief legislative body or other submitting board or official, *see* Tenn. Code Ann. §13-4-104 (LexisNexis 2015) (Submission of proposed construction to commission -- Approval -- Failure to approve, overruling) (<http://www.lexisnexis.com/hottopics/tncode/>).

Thus I am requesting the FMPC review the merits of each project and forward a recommendation to the Board for consideration. If the FMPC desires to recommend elimination/modification of a project or recommend alternate projects this should be discussed thoroughly at the April 21, 2016 FMPC meeting resulting in a recommendation to the BOMA for consideration.

RECOMMENDATION BY: G. Palmer, Assistant Town Manager

PROPOSED MOTION: Recommend approval of the FY 2017 CIP to the Board of Mayor and Aldermen

FMPC ACTION:

MOTION BY: _____ **SECONDED BY:** _____



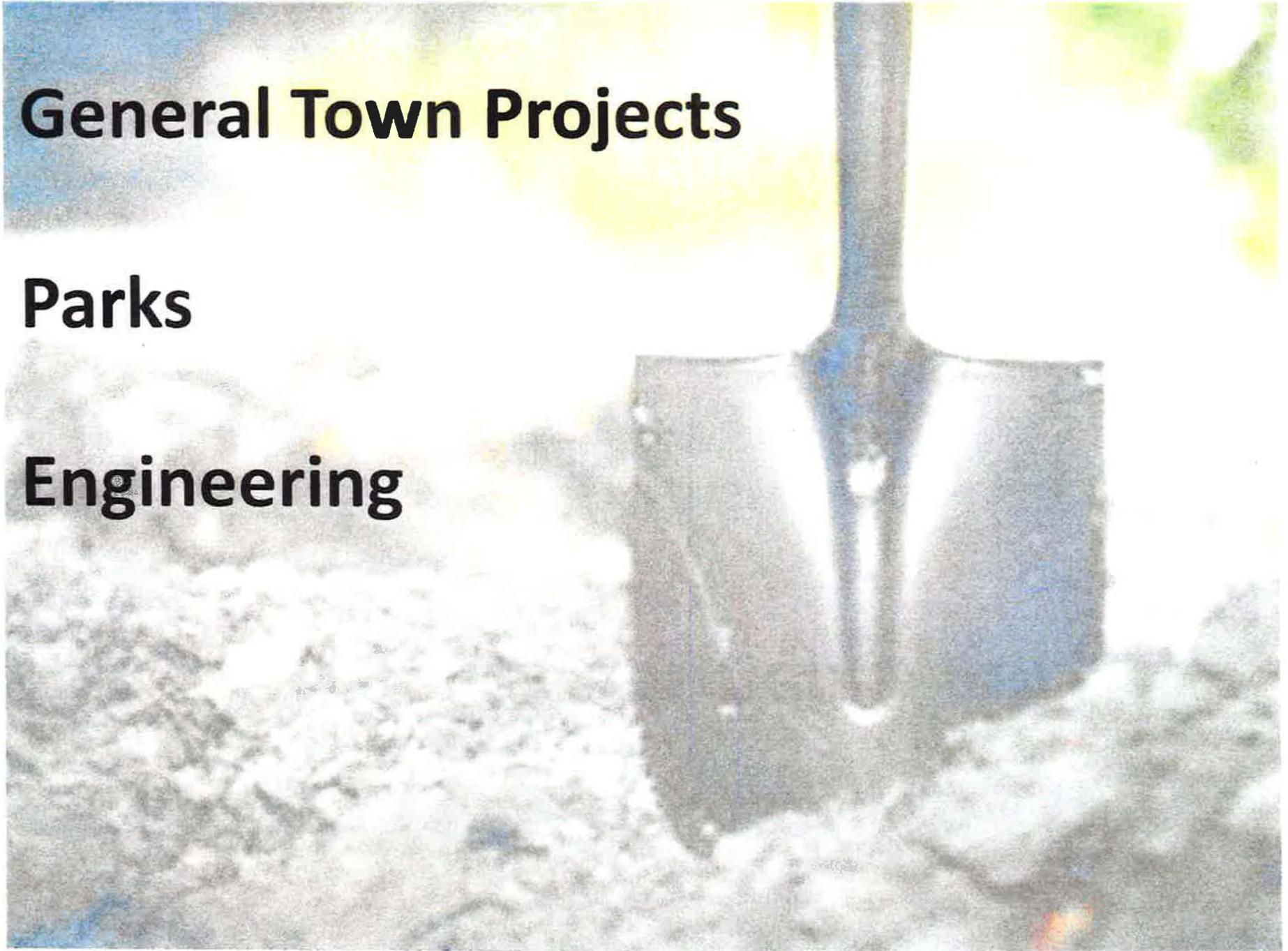
***Town of Farragut
Capital Investment Plan***

Fiscal Year 2017

General Town Projects

Parks

Engineering



Land Acquisition

FY 17-21 \$500,000 / year



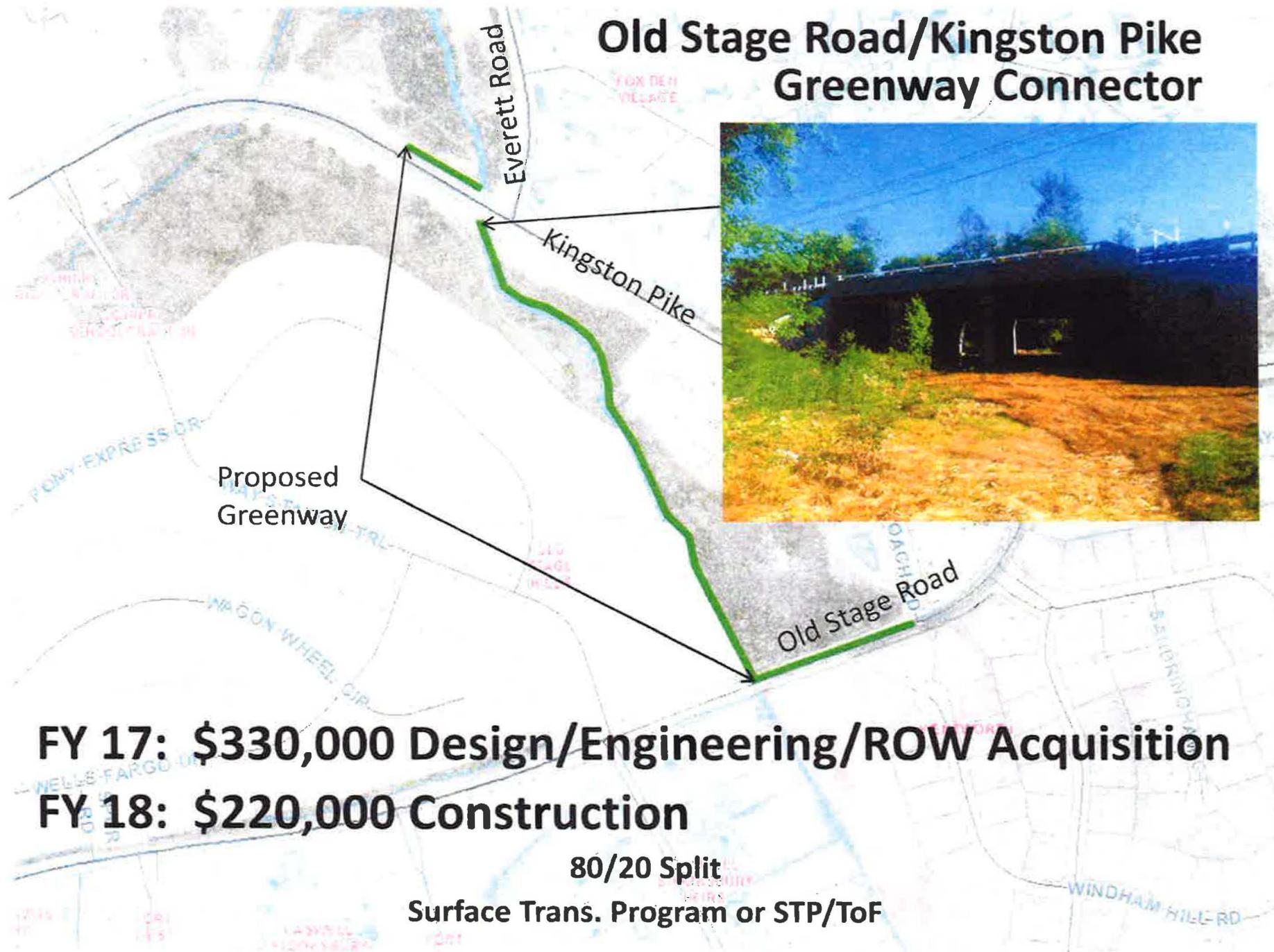
Pedestrian Connectors

Sidewalk & Greenway
100% Town Funded

FY 17-21: \$100,000 / year
(ROW, Design, Materials, Construction)



Old Stage Road/Kingston Pike Greenway Connector

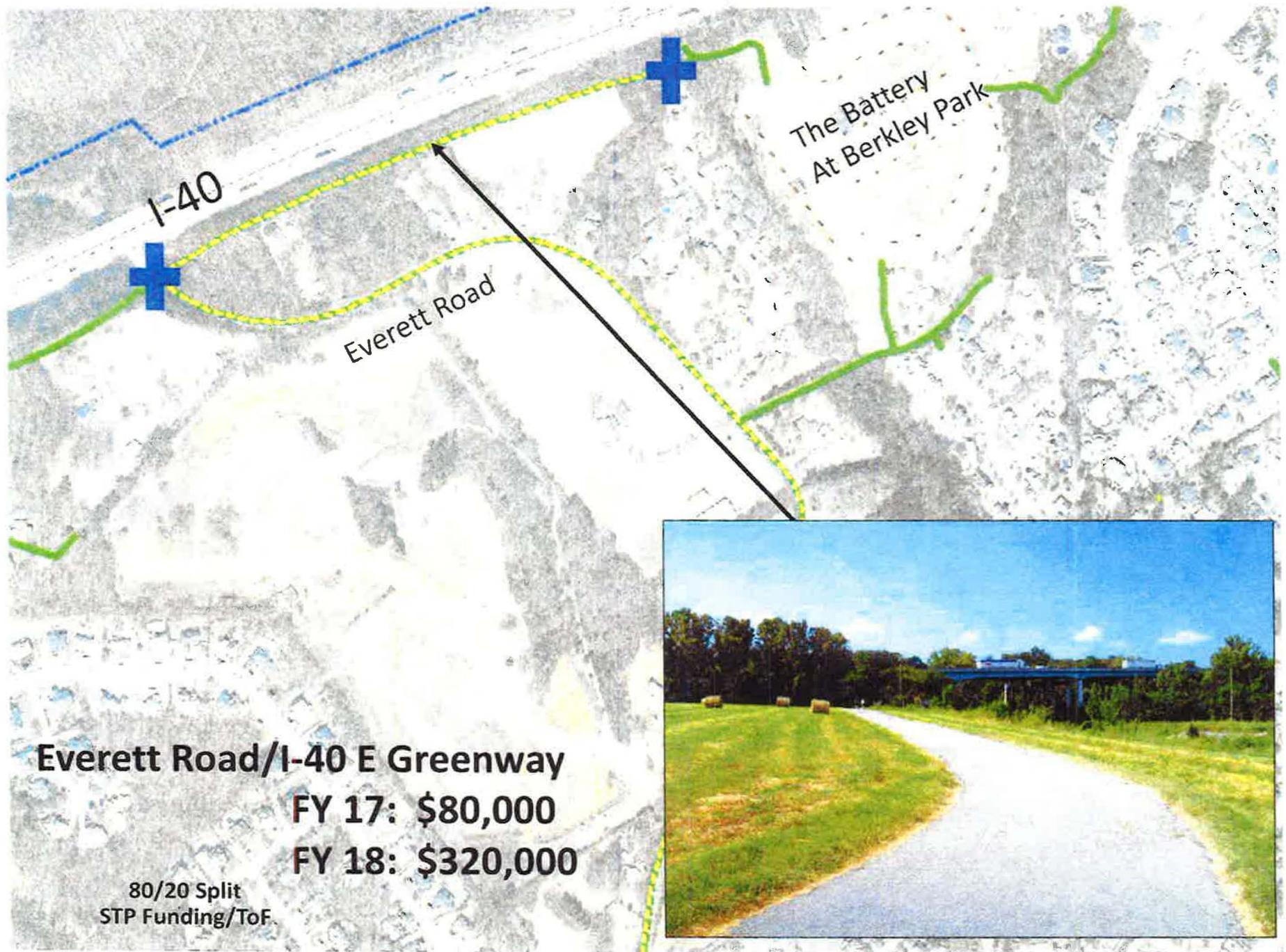


FY 17: \$330,000 Design/Engineering/ROW Acquisition

FY 18: \$220,000 Construction

80/20 Split

Surface Trans. Program or STP/ToF



I-40

Everett Road

The Battery
At Berkley Park

Everett Road/I-40 E Greenway

FY 17: \$80,000

FY 18: \$320,000

80/20 Split
STP Funding/ToF.



HVAC Replacement at Town Hall

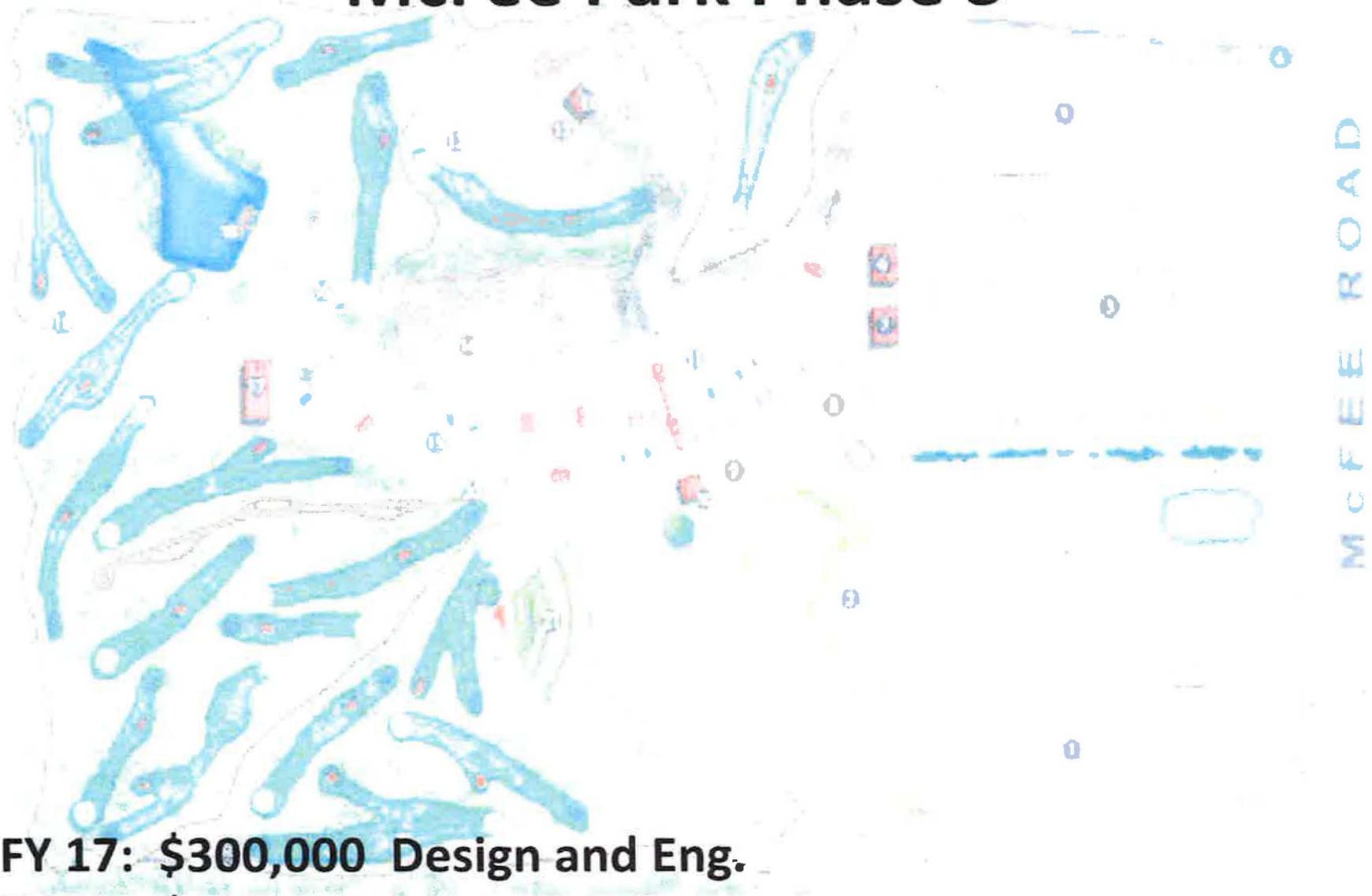


FY 17: \$130,000

Parks



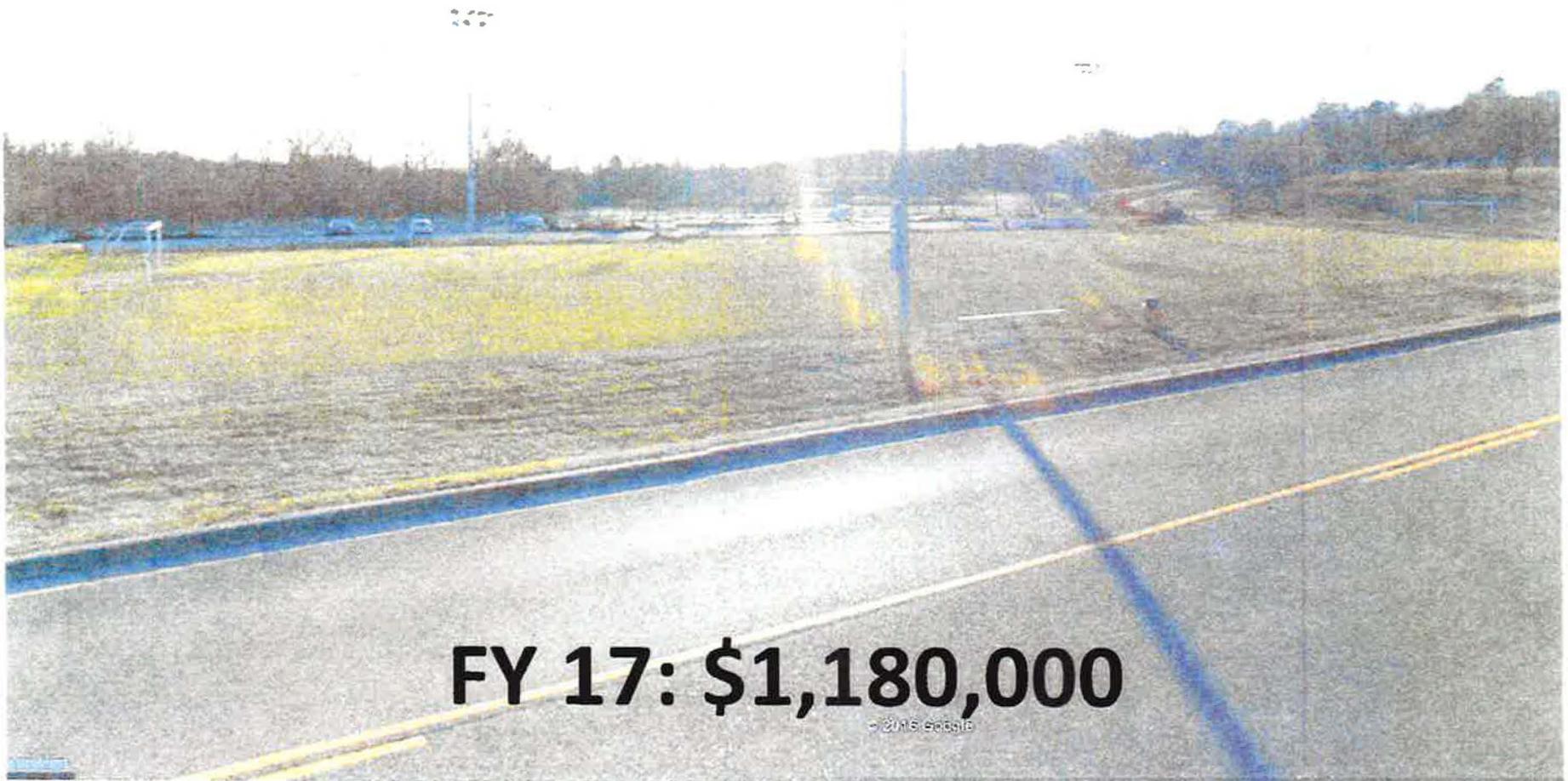
McFee Park Phase 3



FY 17: \$300,000 Design and Eng.
FY 18: \$3,000,000 Construction

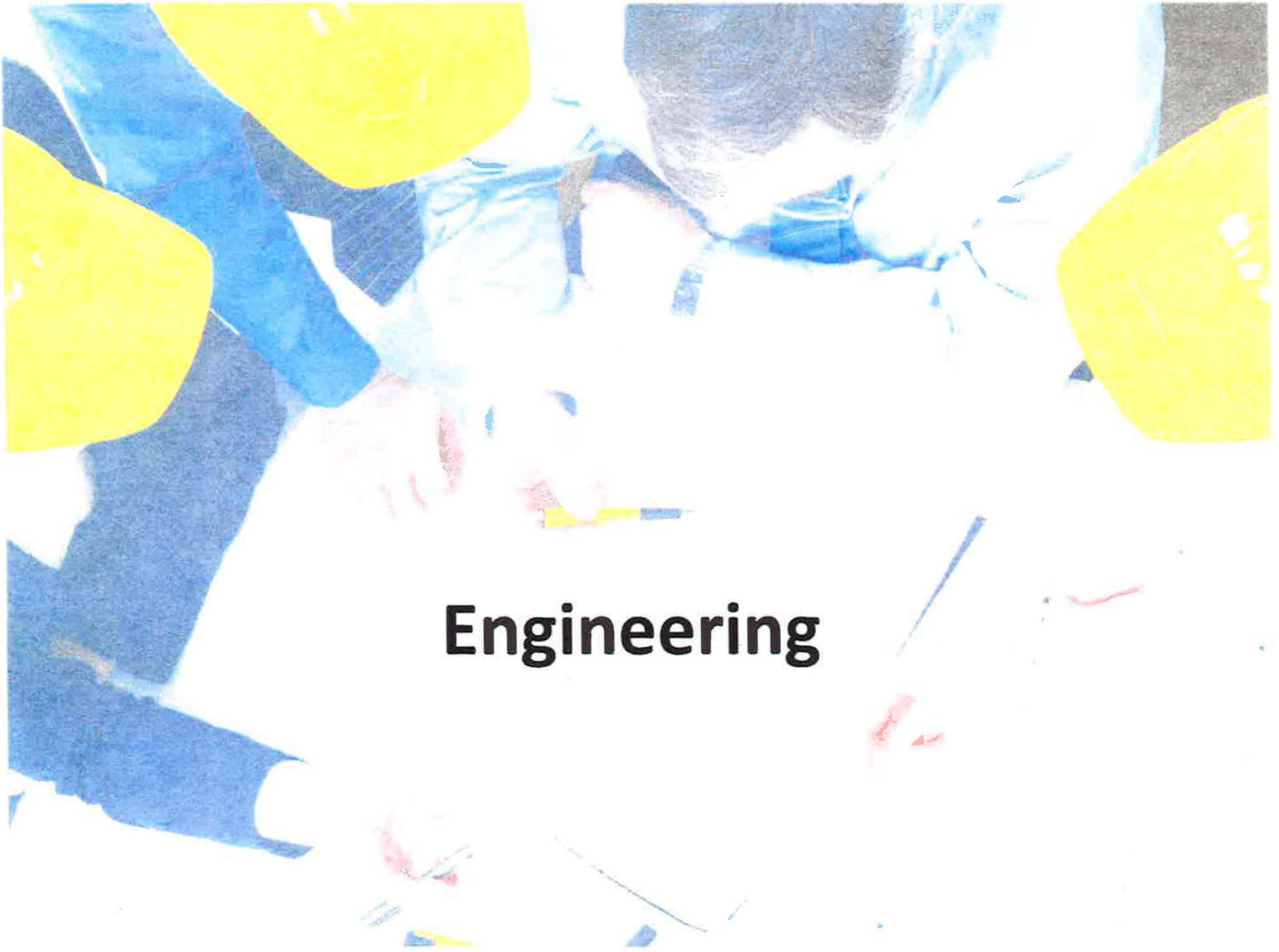
Mayor Bob Leonard Park

Installation of synthetic turf on field #3, renovation and enlargement of the upper restroom and construction of additional parking along Watt Road near the east baseball field



FY 17: \$1,180,000

© 2016 ESC&IB



Engineering

An aerial photograph showing a road intersection with several buildings and parking lots. The image is overlaid with a semi-transparent white box containing text. The text is in a bold, black, sans-serif font. The background shows a mix of green trees, grey roads, and white buildings.

Watt Road / Kingston Pike Intersection Improvements

This TDOT/TOF project was fully funded through FY 16 with construction complete sometime late 2017. We need to program funds for any possible cost overruns accrued through TDOT.

FY 17: \$75,000

Union Road Improvements Brochardt Blvd. to Hobbs Road to Kingston Pike



FY 17: \$350,000 Design/Engineering

FY 18: \$450,000 ROW Acquisition

FY 19: \$2,500,000 Construction

100% Town Funded at This Time

Kingston Pike/Campbell Station Road Intersection Improvements



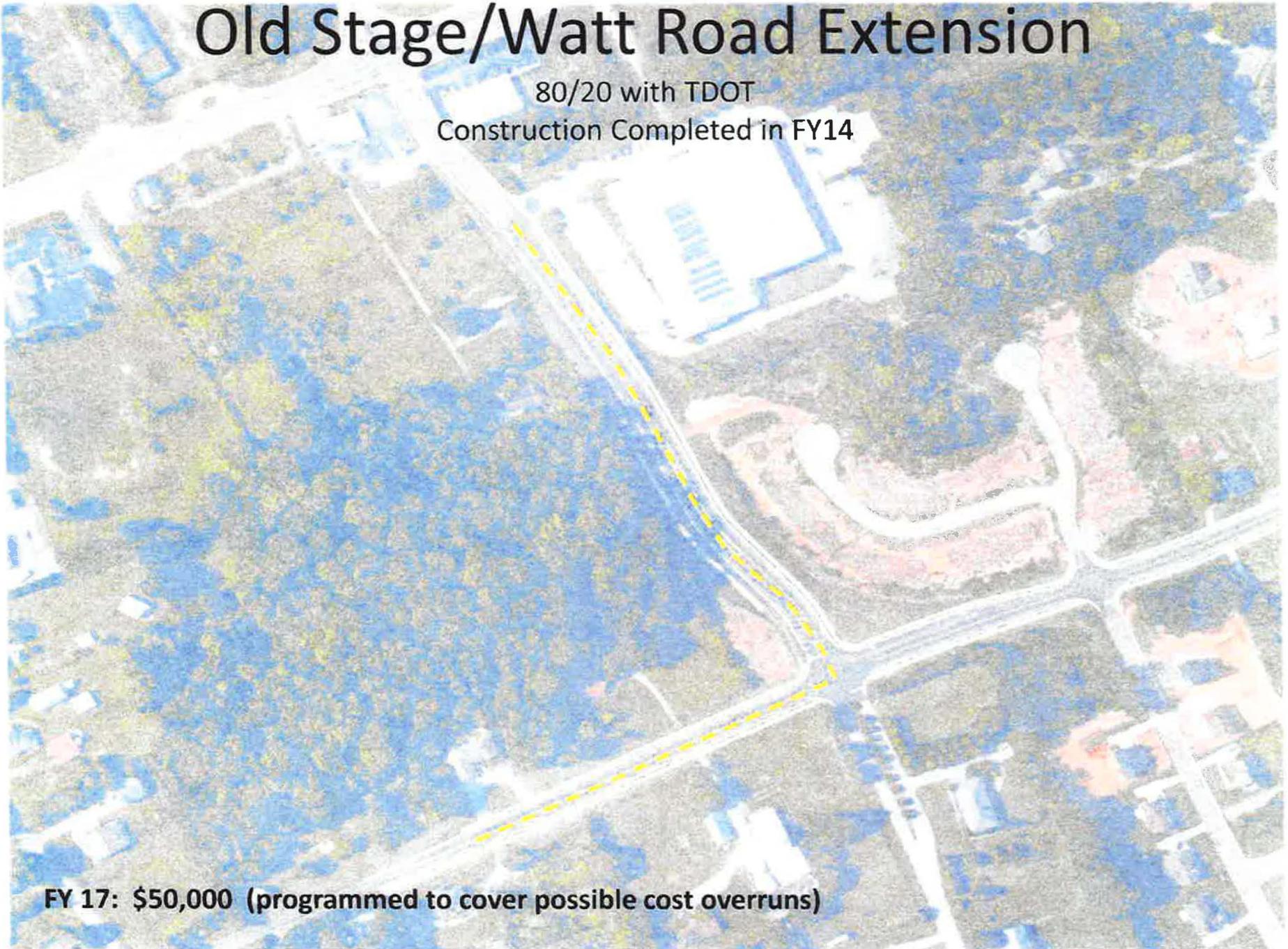
FY 17: \$300,000 Design/Engineering
FY 18: \$400,000 ROW Acquisition
FY 19: \$900,000 Construction

80/20 Federal STP/ToF

Old Stage/Watt Road Extension

80/20 with TDOT

Construction Completed in FY14



FY 17: \$50,000 (programmed to cover possible cost overruns)

FY 2017 CIP Snapshot

Total Genr'l Gov't Projects :	\$ 1,393,750
Total Park Projects :	\$ 1,480,000
Total Engineering Projects :	\$ 775,000
Total FY17 Expenditures :	\$ 3,648,750
Reimbursable (Fed \$):	\$ 820,000
Town Liability*:	\$ 2,828,750

*A combination of General Fund transfer, land acquisition reserves, CIP reserves, and accumulated interest

5 year General Gov't Projects

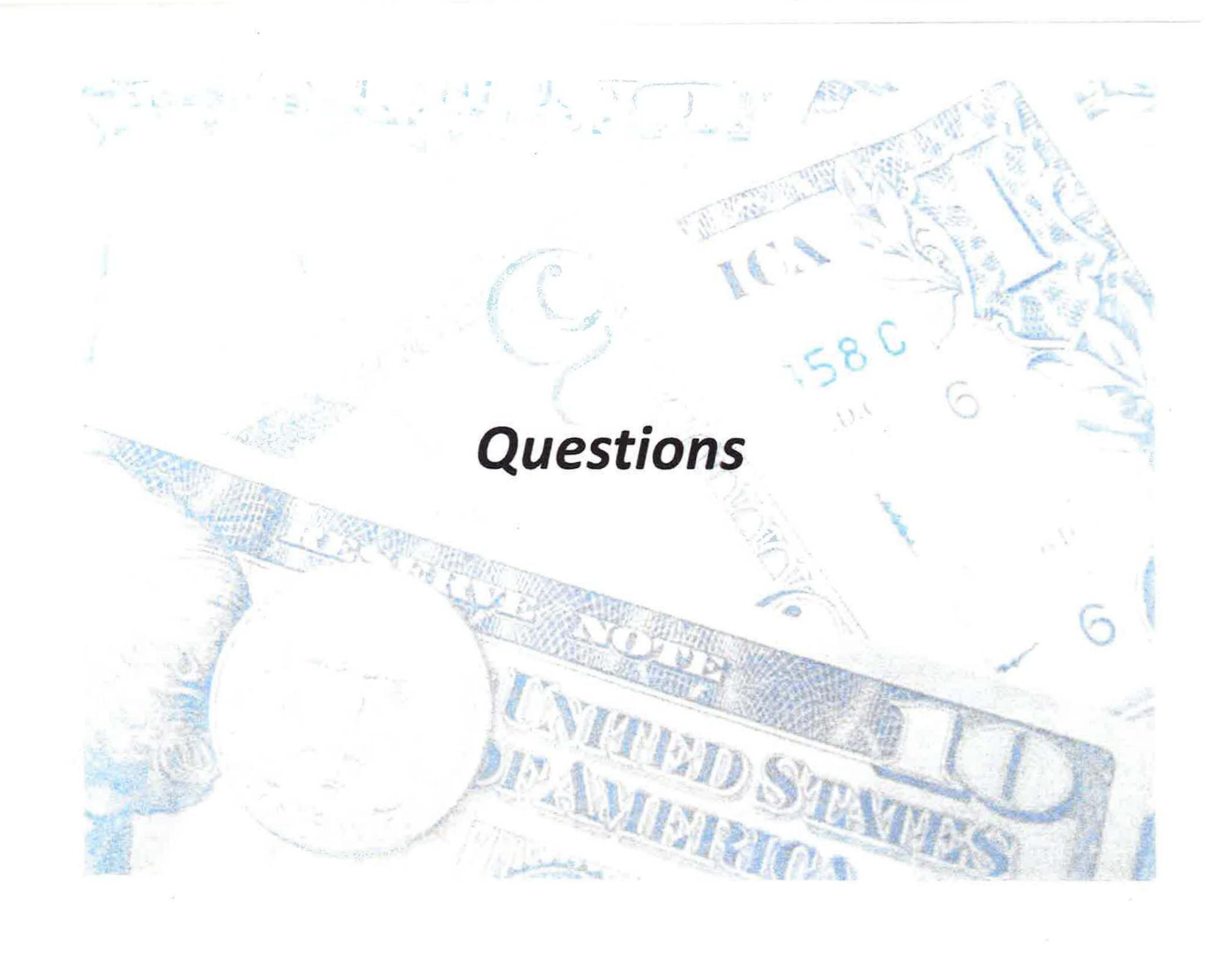
General Government Projects	FY2017	FY2018	FY2019	FY2020	FY2021	Total
Land Acquisition	500,000	500,000	500,000	500,000	500,000	2,500,000
Pedestrian/Greenway Connectors	100,000	100,000	100,000	100,000	100,000	500,000
Old Stage to Everett Greenway Connector	330,000	220,000	0	0	0	550,000
Everett Rd/I-40 Greenway TDOT ROW	80,000	320,000	0	0	0	400,000
N/S Connector: CSR & KP Culvert	0	200,000	0	0	0	200,000
HVAC Replacement	130,000	0	0	0	0	130,000
Campbell Station Inn Note Payable	253,750	0	0	0	0	253,750
General Government Projects Total	1,393,750	1,340,000	600,000	600,000	600,000	4,533,750

5 Year Park Projects

Parks	FY2017	FY2018	FY2019	FY2020	FY2021	Total
McFee Park Expansion	300,000	3,000,000	0	250,000	3,000,000	6,550,000
MBLP Improvements (turf fields)	1,180,000	0	0	0	0	1,180,000
Public Art: Bronze Statues at CSR Park	0	0	130,000	0	0	130,000
Anchor Park Improvements	0	0	0	0	325,000	325,000
Parks Total	1,480,000	3,000,000	130,000	250,000	3,325,000	8,185,000

5 year Engineering Projects

Engineering Projects	FY2017	FY2018	FY2019	FY2020	FY2021	Total
Watt Road/KP Intersection	75,000	0	0	0	0	75,000
Union Road Improvements	350,000	450,000	2,500,000	0	0	3,300,000
Kingston Pike/CSR Intersection	300,000	400,000	900,000	0	0	1,600,000
Evans Road Improvements	0	0	200,000	400,000	1,800,000	2,400,000
Old Stage/Watt Rd. Extension	50,000	0	0	0	0	50,000
PW Shed						45,000
Everett Road Improvements Union	0	0	0	0	0	3,500,000
Engineering Total	775,000	850,000	3,600,000	400,000	1,800,000	7,425,000

The background of the slide is a blue-tinted image of a US one-dollar bill and a quarter coin. The bill is the primary focus, with the words "ONE DOLLAR" and "UNITED STATES OF AMERICA" visible. A large, stylized number "1" is prominent on the right side. The coin is partially visible in the lower-left corner. The word "Questions" is centered over the bill in a bold, black, sans-serif font.

Questions