

A G E N D A
FARRAGUT MUNICIPAL PLANNING COMMISSION

January 21, 2016
7:00 p.m. Farragut Town Hall

For questions please either e-mail Mark Shipley at mark.shipley@townoffarragut.org or Ashley Miller at ashley.miller@townoffarragut.org or call them at 865-966-7057.

- 1. Citizen Forum**
- 2. Approval of agenda**
- 3. Approval of minutes – December 17, 2015**
- 4. Discussion and public hearing on a site plan clarification related to the mono-pine stealth application proposed for a telecommunications tower to be situated on a portion of Parcel 37.03, Tax Map 153, located off of Concord Road adjoining Clarity Pointe and First Utility District, Zoned C-1 and Telecommunications Tower Overlay, 5.24 Acres (Branch Towers, Applicant)**
- 5. Discussion and public hearing on a site plan for The Overlook at Campbell Station, Parcels 108 and 109, Tax Map 130, Zoned R-6/OSMFR, 820 N. Campbell Station Road, 31.94Acres (GBS Engineering, Applicant)**
- 6. Discussion and public hearing on a request to rezone Parcels 18 and 18.01, Tax Map 162, located at 1006 McFee Road, approximately 6 Acres, from R-1 to R-2 (John and Teresa Kirkland, Applicants)**
- 7. Discussion and public hearing on a request to amend the 2012 Comprehensive Land Use Plan (CLUP) for a portion of the property located at 12639 Kingston Pike, 30.13 Acres, from Civic Institutional to Commercial (Paul R. Swan, Applicant)**
- 8. Discussion and public hearing on a request to rezone Parcel 58, Tax Map 151, 12639 Kingston Pike, 30.13 Acres, from R-2 and Floodplain to C-1 and Open Space/Park (Paul R. Swan, Applicant)**
- 9. Discussion and public hearing on amendments to Chapter 2 of the Farragut Zoning Ordinance to provide for new definitions related to elderly housing**
- 10. Discussion and public hearing on amendments to the text of the Farragut Zoning Ordinance, Chapter 3. Section XX., Community Service District (S-1), to replace it with a Civic/Institutional Zoning District**

It is the policy of the Town of Farragut not to discriminate on the basis of race, color, national origin, age, sex, or disability pursuant to Title VI of the Civil Rights Act of 1964, Public Law 93-112 and 101-336 in its hiring, employment practices and programs. To request accommodations due to disabilities, please call 865-966-7057 in advance of the meeting.

- 11. Discussion and public hearing on the creation of Senior Living Community provisions in Chapter 4 of the Farragut Zoning Ordinance**
- 12. Discussion on amendments to the Comprehensive Land Use Plan**
- 13. Public hearing on proposed locations for new utilities**

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MINUTES
FARRAGUT MUNICIPAL PLANNING COMMISSION

December 17, 2015

MEMBERS PRESENT

Rita Holladay, Chairman
Ed St. Clair, Vice-Chairman
Ron Honken, Alderman
Ed Whiting, Secretary
Ralph McGill, Mayor
Annette Brun
Betty Dick
Noah Myers
Louise Povlin

MEMBERS ABSENT

Staff Representatives: Mark Shipley, Community Development Director
Ashley Miller, Assistant Community Development Director

Chairman Holladay called the meeting to order at 7 p.m.

CITIZEN FORUM

Chairman Holladay commented on Founder's Park being so beautiful with all the lighted trees and decoration. She commended Bud McKelvey and his crew for all their hard work.

APPROVAL OF AGENDA

Commissioner St. Clair moved to approve the December 17, 2015 agenda but with the deletion of Item #4 which has been postponed by the applicant and staff. Commissioner Myers seconded the motion and the motion passed 9-0.

APPROVAL OF MINUTES

Commissioner Honken moved to approve the November 19, 2015 minutes. Commissioner Myers seconded the motion and the motion passed 7-0-2, with Mayor McGill and Commissioner Brun abstaining since they were absent.

AGENDA ITEMS

DISCUSSION AND PUBLIC HEARING ON A FINAL PLAT FOR CHANTILLY ACRES AT MCFEE SUBDIVISION, LOCATED AT 932 AND 1006 MCFEE ROAD, PARCELS 18 AND 18.01, MAP 162, ZONED R-1, 5 LOTS, 5.46 ACRES (Southern Beach Holdings, LLC, Applicant)

Postponed at the request of the staff and applicant.

11408 MUNICIPAL CENTER DRIVE FARRAGUT, TN 37934 865.966.7057
WWW.TOWNOFFARRAGUT.ORG

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DISCUSSION AND PUBLIC HEARING ON A SITE PLAN FOR SUMMIT VIEW MEDICAL, PARCEL 45.01, MAP 151, ZONED C-1, LOCATED AT 12823 KINGSTON PIKE, 7.954 ACRES (Edward Keith Julian, Applicant)

The staff reviewed this item and recommended approval subject to the following items being satisfactorily addressed as verified in writing by Town staff:

- a) Since the revised sheets are the final set, please sign and seal all sheets in the site plan submittal;
- b) Please correct the title sheet to note that this is “construction documents” and not just “for review only”;
- c) Please clarify if the area where the sun room is proposed involves an expansion to the existing building;
- d) Please include on the site plan sheet the existing and post-improvement building and lot coverages. Based on the comment response letter, the building (not the lot) coverage would be 18.94%. Building coverage includes all structures under roof and total lot coverage includes all structures under roof and anything else that is not “green and growing” on the site;
- e) Upon completion of construction an as-built survey will be required;
- f) On the lighting plan sheet please include as a note that Fixture A will be flush mounted in the ceiling and will not protrude below the lower portion of the drive-thru canopy. Also, please clarify the lumens proposed for this fixture; and
- g) Once installed, the lighting must be field verified and approved by the Town staff.

A motion was made by Commissioner Honken to approve the site plan for Summit View Medical subject to items a-g being satisfactorily addressed as verified in writing by Town staff. Motion was seconded by Commissioner Whiting and motion passed unanimously.

DISCUSSION AND PUBLIC HEARING ON A SITE PLAN FOR A CANOPY ADDITION FOR SEASONS INNOVATIVE BAR & GRILLE, PARCEL 191.04, MAP 130, ZONED C-2, LOCATED AT 11605 PARKSIDE DRIVE (Deron Little, Applicant)

The staff reviewed this item and noted that the material to be used for the roof will need to be discussed with the planning commission in terms of compliance with the Architectural Design Standards (ADS). Both the original site plan which showed a metal roof and the revised site plan which shows a fabric roof need to be assessed. The ADS do provide for flexibility in materials on the façade of a minor project.

The staff indicated that in accordance with Standard 2.20 in the ADS, exterior material, paint and roof colors should be used that are compatible with the surrounding context. This standard encourages the use of earth tones and muted colors, consistency with the existing façade, and stipulates that unpainted metal roofing should not be used. Standard 2.16 stipulates that fabricated metal panels or vinyl siding should not be used. In this context the staff explained that Standard 2.16 would appear to be specifically addressing building facades.

The ADS also encourage the use of high-quality durable materials and the staff questioned whether fabric in this application would be consistent this aspect of the ADS. Beyond whatever material is accepted for the roof, the staff recommended that the applicant explore the possibility of adding short brick columns on the corners similar to what was constructed for the Bad Daddy's and La Parilla covered seating areas. This would help tie the covered area to the remainder of the building.

A motion was made by Commissioner Honken to approve the site plan, which showed the fabric roof material, and to follow the staff's recommendation to add brick columns to tie the addition to the remainder of the building for the covered outdoor seating at the Seasons Innovative Bar & Grille. Motion was seconded by Commissioner St. Clair and motion passed unanimously.

DISCUSSION AND PUBLIC HEARING ON A SITE PLAN FOR A PAVILION FOR SPLIT RAIL FARMS SUBDIVISION, PARCEL 32, GROUP D, MAP 141E, ZONED R-1/OSR, LOCATED AT 735 SPLIT RAIL LANE, 0.54 ACRES (Justin Morgan, Applicant)

The staff reviewed this request and recommended approval subject to the following items being satisfactorily addressed as verified in writing by Town staff:

- a) Please complete the most recent version of the site plan application. It appears the version submitted is prior to the current 9/2012 version;
- b) Please provide a fire hydrant within 400' of all accessible driving points of the structure;
- c) Please provide the required IFC approved fire apparatus turn around if the fire apparatus access road required exceeds 150' to a dead end. Please review appendix "D" of the 2012 IFC;
- d) Please provide fire protection calculations based on the adopted 2012 IFC;
- e) Staff was unable to locate the water lines and associated sizes on sheet C-1 or S-1;

- f) Please confirm the driveway pavement will support the required 30,000 lb per axel load requirement for fire apparatus.
- g) Please provide construction type of building in accordance with the 2012 IBC.
- h) Please sign and seal all sheets;
- i) There appears to still be some issues with the labeling of the light sources, the site plans shows SA and SB and the details show P1 and P2;
- j) Please ensure that the lighting schedule matches the fixtures shown on the plan. For example, there appear to be two SB fixtures on the plan but only one is noted in the schedule. Also, the wattage in relation to the lumens doesn't make sense;
- k) Prior to the issuance of a Certificate of Completion all landscaping shown on the approved landscape plan must be planted and a 2-year landscape maintenance letter of credit for \$7,500 provided;
- l) Though the fixture schedule alludes to this please add a note to the lighting plan that the vertical lens in the lantern fixture will be frosted; and
- m) Once installed, the lighting must be field verified and approved by the Town staff.

A motion was made by Commissioner Honken to approve the site plan for a pavilion for Split Rail Farms Subdivision subject to items a-m being satisfactorily addressed as verified in writing by Town staff. Motion was seconded by Commissioner Povlin and motion passed unanimously.

DISCUSSION ON AMENDMENTS TO THE COMPREHENSIVE LAND USE PLAN

For discussion purposes only.

DISCUSSION ON A REQUEST TO AMEND THE 2012 COMPREHENSIVE LAND USE PLAN (CLUP) FOR A PORTION OF THE PROPERTY LOCATED AT 12639 KINGSTON PIKE, 30.13 ACRES, FROM CIVIC INSTITUTIONAL TO COMMERCIAL (Paul R. Swan, Applicant)

For discussion purposes only.

DISCUSSION ON A REQUEST TO REZONE PARCEL 58, TAX MAP 151, 12639 KINGSTON PIKE, 30.13 ACRES, FROM R-2 AND FLOODPLAIN TO C-1 AND FLOODPLAIN (Paul R. Swan, Applicant)

For discussion purposes only.

**DISCUSSION ON AMENDMENTS TO PROVIDE FOR A CIVIC/
INSTITUTIONAL ZONING DISTRICT**

For discussion purposes only.

PUBLIC HEARING ON PROPOSED LOCATIONS FOR NEW UTILITIES

None at this time

ADJOURNMENT

The meeting adjourned at 10:40 p.m.

Edwin K. Whiting, Secretary

MEETING DATE: January 21, 2016

REPORT TO THE FARRAGUT MUNICIPAL PLANNING COMMISSION

PREPARED BY: Mark Shipley, Community Development Director

SUBJECT: Discussion and public hearing on a site plan clarification related to the mono-pine stealth application proposed for a telecommunications tower to be situated on a portion of Parcel 37.03, Tax Map 153, located off of Concord Road adjoining Clarity Pointe and First Utility District, Zoned C-1 and Telecommunications Tower Overlay, 5.24 Acres (Branch Towers, Applicant)

INTRODUCTION AND BACKGROUND: At the November 19, 2015 planning commission meeting a site plan was approved for a 160 foot tall telecommunications tower on the property referenced as Parcel 37.03, Tax Map 153. The staff presented this item and the recommendations. One point of clarification was that the site plan needed to show the dimensions and actual appearance of the mono-pine stealth application that the applicant intended to use and that was required as part of the rezoning to the Telecommunications Tower Overlay District. This was reflected in item "e" in the minutes associated with the action taken which included the following:

Staff recommended approval subject to the following items being satisfactorily addressed as acknowledged in writing by the Town staff:

- a) Is 901 Concord Road accurate as the site address? The correct address, as provided by Knoxville/Knox Co. MPC addressing, must be referenced on the site plan;*
- b) Landscaping shown on the approved landscape plan will be required to be completed prior to the issuance of the Certificate of Completion (CC) for the tower. Shrubs that are at least 4.5 feet in height will need to be included around the fence to help screen the compound. Staff would recommend Eastern Red Cedar (10-12 feet on center) in lieu of shrubs. A 2-year landscape maintenance letter of credit will also be required prior to the issuance of the CC (this amount will be provided by staff based on the approved plan);*
- c) A certified survey will be required to verify compliance with height and setbacks. This will be required prior to the issuance of the CC;*
- d) Prior to the issuance of a building permit please provide a covenant for the Town attorney's review and subsequent recording that will address the rezoning conditions associated with the Telecommunications Tower Overlay approval. Those relate to the one (1) tower limitation and the provision and maintenance of the mono-pine stealth application;*
- e) The note on Page 15 in the upper left corner is confusing. It seems to imply that what is shown on this sheet may not be what is installed. This is not acceptable language. The site plan sheets must show exactly what is being installed (and be consistent with any building permit materials) so that they can be assessed as part of the approval process.*

The mono-pine application must be dimensioned on the plan so that its physical form is known at this time. Please include these dimensions on the site plan;

- f) Please verify if any site lighting is proposed around or within the lease space area. If so, it must be shown to comply with the Town's outdoor site lighting requirements; and*
- g) Please provide irrevocable letter of credit for erosion control for \$2500.*

A motion was made by Commissioner Honken to approve the site plan subject to items a-g being satisfactorily addressed as verified in writing by Town staff. Motion was seconded by Commissioner Myers and motion passed unanimously.

At the meeting, the applicant handed out a revised drawing of a mono-pine application which included general dimensions. Though the applicant made some verbal reference to the anticipated width of the mono-pine to be used, the drawing that was submitted at the meeting, based on dimensions provided on the drawing, did not correspond with what the applicant is actually proposing.

The drawing that was submitted shows a mono-pine application that is over 40 feet in width at its base and that has a general tree-like appearance. When this was noted to the applicant in response to addressing item "e" in the minutes, the applicant acknowledged that an error had been made and the drawing that was submitted does not reflect what the applicant is proposing. The proposed mono-pine application would actually be 18-20 feet in width at its widest dimension.

Since the mono-pine application was a condition of the rezoning and a very important aspect of the site plan the staff did not feel comfortable approving a modification that would be substantially different from what was shown at the meeting.

Consequently, this item is back for your consideration. Included in the packet is a copy of the drawing that was provided at the November meeting and a drawing and photographs of what the applicant is proposing with dimensions noted. Compared to the rendering that was presented at the meeting, the revised rendering which the applicant is proposing is not as tree-like in appearance. The staff would recommend something more consistent with the rendering that was provided at the November meeting.

CURRENT PROPOSAL

MONOPOLE DESIGN LOADS:

90 MPH WIND & NO ICE (3 SEC GUST)
 30 MPH WIND & 3/4" ICE (3 SEC GUST)
 60 MPH WIND & NO ICE (SERVICE)
 STRUCTURE CLASS II
 EXPOSURE CATEGORY D
 TOPOGRAPHIC CATEGORY 1
 KNOX COUNTY, TENNESSEE

SITE INFORMATION:

COORDINATES: LATITUDE: 35.8639 N
 LONGITUDE: 84.1455 W
 ADDRESS: 901 CONCORD ROAD
 KNOXVILLE, TN

MAXIMUM BASE MOMENT & FORCES

MOMENT (FT-KIPS)	SHEAR (KIPS)	AXIAL (KIPS)
10,165	85	90

DESIGN LOADING:

ELEV.	ITEM	RAD.	AZ.	FEEDLINES
160'	180 S.F. x K_a ($K_a = 1.0$)	---	---	(12) 1 5/8" (INSIDE POLE)
150'	180 S.F. x K_a ($K_a = 0.8$)	---	---	(12) 1 5/8" (INSIDE POLE)
140'	180 S.F. x K_a ($K_a = 0.8$)	---	---	(12) 1 5/8" (INSIDE POLE)
130'	180 S.F. x K_a ($K_a = 0.8$)	---	---	(12) 1 5/8" (INSIDE POLE)
110'	ANDREW 6' DISH	YES	---	(1) 1 5/8" (INSIDE POLE)
90'	ANDREW 6' DISH	YES	---	(1) 1 5/8" (INSIDE POLE)
160'-60'	(253) PINE BRANCHES (5'-9" IN LENGTH)	---	---	

POLE DATA

POLE 65 KSI 18 SIDED					
ELEV.	WALL THICKNESS	TAPER	TUBE LENGTH	TOP DIA.	BASE DIA.
110'-3'-160'	3/8"	.294"/FT.	49'-9"	18"	32 5/8"
75'-115'	1/2"	.294"/FT.	40'-0"	30 7/16"	42 1/4"
41'-81'	5/8"	.294"/FT.	40'-0"	39 7/16"	51 1/4"
0'-48'	5/8"	.294"/FT.	48'-0"	47 7/8"	62"

ANCHOR BOLT DATA:

(28x) 2 1/4" ϕ ASTM A615 GRADE 75 KSI
 X 10'-0" LG DN A 70" ϕ BOLT CIRCLE
 TEMPLATE O.D. = ϕ 75" A36

BASE PLATE DATA:

77" ϕ , 2" THICK, ROUND
 ASTM A572 50 KSI
 (28x) 3/4" THICK X 10" TALL GUSSETS
 ASTM A572 50 KSI

REV	DATE	DESCRIPTION
D	1-05-16	BRANCH LENGTH
C	12-03-15	BRANCH DETAIL
B	11-10-15	POLE HEIGHT
A	09-14-15	POLE DESIGN

NOTES:

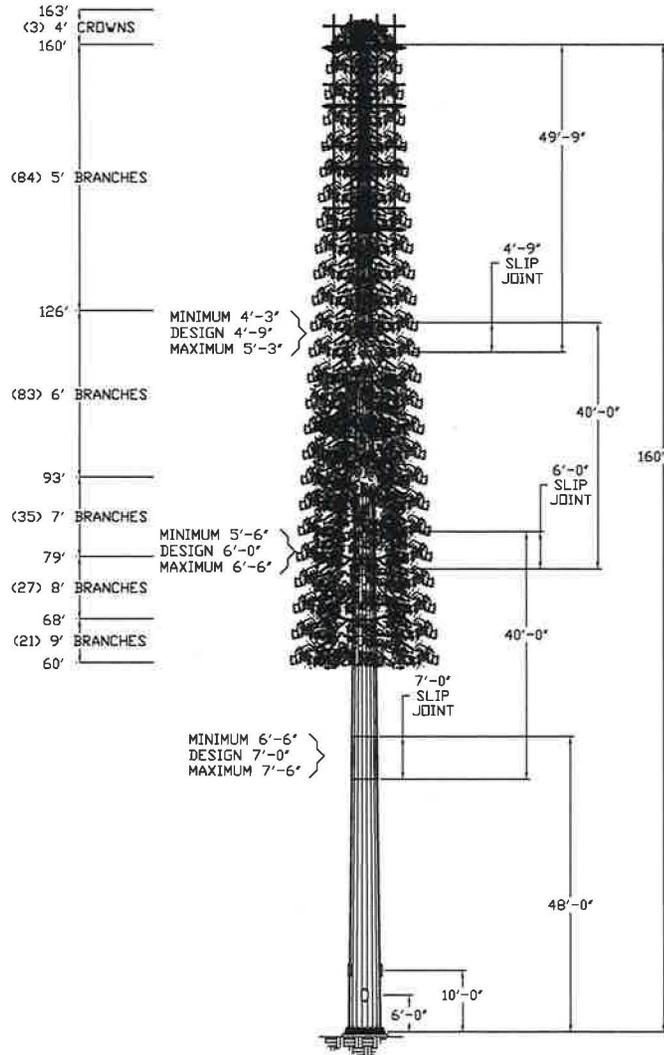
- POLE DESIGN ACCORDING TO TIA-222-G.
- ANTENNA LOADS FROM MANUFACTURING SPECIFICATIONS.
- WELD CONNECTIONS SHALL CONFORM TO THE LATEST REVISION OF THE AMERICAN WELDING SOCIETY, A.W.S. D 11.
- ALL POLE MEMBERS SHALL BE HOT-DIP GALVANIZED AFTER FABRICATION. GALVANIZING SHALL CONFORM TO ASTM A123.
- ALL BOLTS SHALL BE GALVANIZED ACCORDING TO THE STANDARD SPECIFICATION FOR ZINC COATING OR IRON AND STEEL HARDWARE, ASTM A153.
- BOLTS
 - BOLTS IN TENSION ASTM A325
 - STEP BOLTS ASTM A394
- ORIENT V-NOTCH ON TOP OF TEMPLATE AND REFERENCE TAB ON BASE PLATE @ 0°.
- STAMP "EEI 95161" ON TOP OF BASE PLATE NEAR FLAT #14 WITH 1/2" STEEL STAMPS.
- MONOPINE IS PAINTED BROWN.
- ALL ITEMS MUST BE INVENTORIED AT THE TIME OF DELIVERY TO THE JOB SITE/STORAGE FACILITY. ANY SHORTAGES REPORTED AFTER THIS DELIVERY WILL BE THE RESPONSIBILITY OF THE CONTRACTOR/OWNER.
- ALL STRUCTURAL COMPONENTS SHALL BE VERIFIED FOR PROPER ASSEMBLY BY THE FIELD CREW PRIOR TO INSTALLATION. REPAIRS AND/OR MISSING MATERIALS BECOME THE FINANCIAL RESPONSIBILITY OF THE CONTRACTOR IF EEI IS NOT NOTIFIED PRIOR TO INSTALLATION.
- ANY PROBLEMS THAT OCCUR WITH SCHEDULING, FOUNDATION INSTALLATION, ERECTION OR ANY ITEMS FURNISHED BY EEI MUST BE REPORTED IMMEDIATELY TO ALLOW EEI TIME TO TAKE CORRECTIVE MEASURES. EEI WILL MAKE EVERY EFFORT TO REPAIR/REPLACE NECESSARY ITEMS IN AN EXPEDITED MANNER, AND/OR WILL PURSUE CORRECTIVE MEASURES IN THE MOST ECONOMICAL WAY POSSIBLE AT OUR DISCRETION. HOWEVER, UNDER NO CIRCUMSTANCES WILL EEI PAY FOR, OR BE RESPONSIBLE FOR ANY DOWN TIME OR EXPENSES INCURRED DUE TO DOWN TIME.

THESE DRAWINGS AND SPECIFICATIONS ARE THE PROPERTY OF EHRESMANN ENGINEERING, INC. AND SHALL NOT BE REPRODUCED OR USED IN WHOLE OR IN PART AS THE BASIS OF THE MANUFACTURE OR SALE OF ITEM(S) WITHOUT WRITTEN PERMISSION.

SITE: TN-0012 MAILEN, TN

160' EHRESMANN MONOPINE

EHRESMANN ENGINEERING, INC. CONSULTING ENGINEERS 4400 WEST 31st. STREET YANKTON, SD 57078 (605) 665-7532 (605) 665-9780	DATE: 11/10/15
	BY: BL
	CHECKED:
J.B. 95161	DWG # 95161E01 SHT E01 OF







(*) HANDOUT FROM NOVEMBER 2015 MEETING

MONOPOLE DESIGN LOADS: 90 MPH WIND & NO ICE (3 SEC GUST)
 30 MPH WIND & 3/4" ICE (3 SEC GUST)
 60 MPH WIND & NO ICE (SERVICE)
 STRUCTURE CLASS II
 EXPOSURE CATEGORY D
 TOPOGRAPHIC CATEGORY 1
 KNOX COUNTY, TENNESSEE

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 ADDRESS: 901 CONCORD ROAD
 KNOXVILLE, TN

MAXIMUM BASE MOMENT & FORCES

MOMENT (FT-KIPS)	SHEAR (KIPS)	AXIAL (KIPS)
10,165	85	90



Nov 18, 2015

DESIGN LOADING:

ELEV.	ITEM	RAD.	AZ.	FEEDLINES
160'	180 S.F. x Ka (Ka = 1.0)	---	---	(12) 1 5/8" (INSIDE POLE)
150'	180 S.F. x Ka (Ka = 0.8)	---	---	(12) 1 5/8" (INSIDE POLE)
140'	180 S.F. x Ka (Ka = 0.8)	---	---	(12) 1 5/8" (INSIDE POLE)
130'	180 S.F. x Ka (Ka = 0.8)	---	---	(12) 1 5/8" (INSIDE POLE)
110'	ANDREW 6' DISH	YES	---	(1) 1 5/8" (INSIDE POLE)
90'	ANDREW 6' DISH	YES	---	(1) 1 5/8" (INSIDE POLE)
160'-60'	(253) PINE BRANCHES (5'-9" IN LENGTH)	---	---	

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 X 10'-0" LG ON A 70" ϕ BOLT CIRCLE
 TEMPLATE O.D. = ϕ 75" A36

BASE PLATE DATA:

77" ϕ , 2" THICK, ROUND
 ASTM A572 50 KSI
 (28x) 3/4" THICK X 10" TALL GUSSETS
 ASTM A572 50 KSI

Project#: U1408-185-151



9188 S. STATE STREET, SUITE 101 (801) 990-1775 SANDY, UTAH 84070 (801) 990-1776 FAX

REV	DATE	DESCRIPTION
B	11-10-15	POLE HEIGHT
A	09-14-15	POLE DESIGN

SITE: TN-0012 MAILEN, TN

160' EHRESMANN 15 of 33
 MONOPINE

EHRESMANN ENGINEERING, INC.
 CONSULTING ENGINEERS
 4400 WEST 31st. STREET
 YANKTON, SD 57078
 (605) 665-7532
 (605) 665-9780

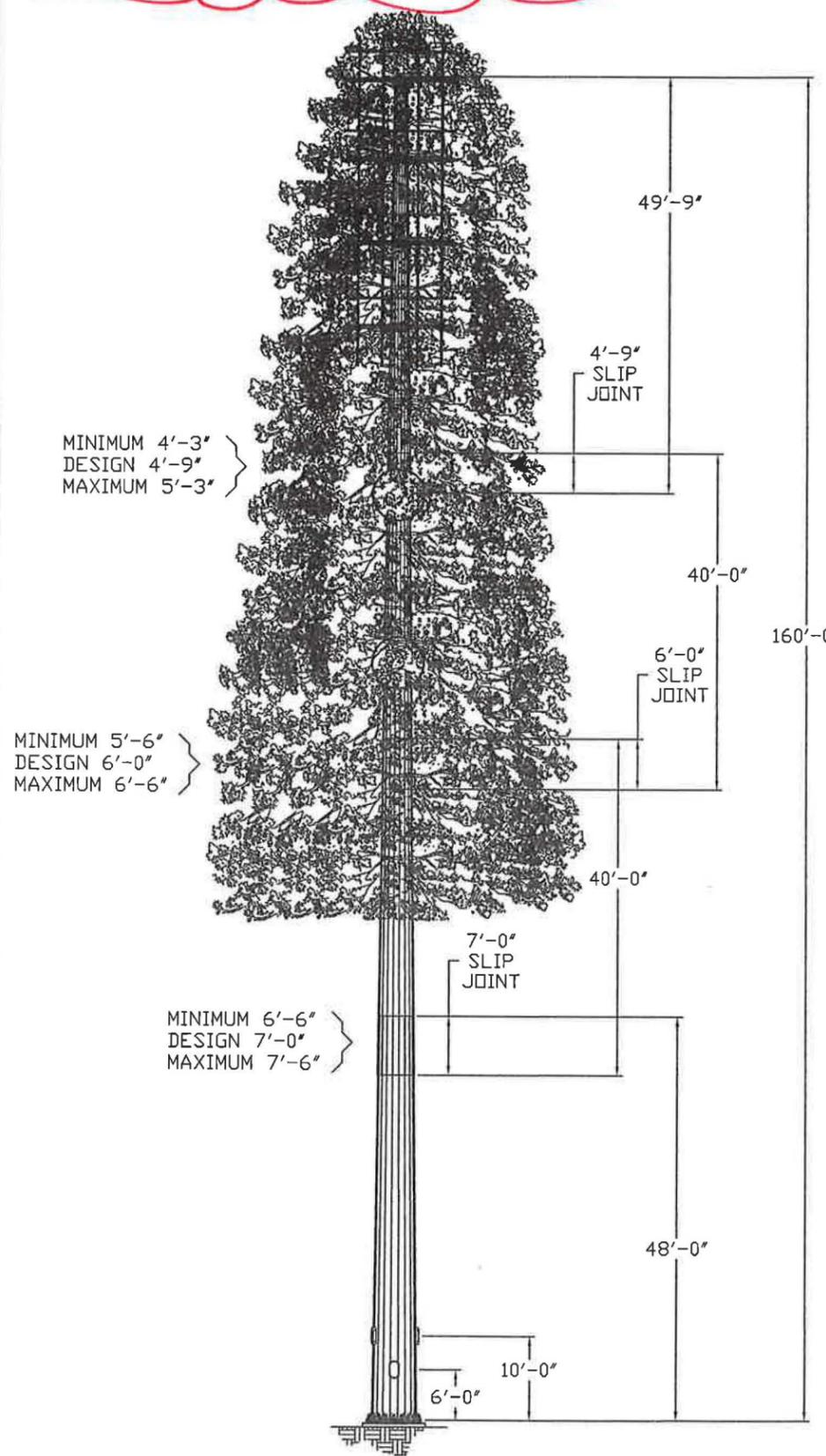
DATE: 11/10/15

BY: BL

CHECKED:

J.O. 95161 DWG # 95161E01 SHT E01 OF

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MEETING DATE: January 21, 2016

REPORT TO THE FARRAGUT MUNICIPAL PLANNING COMMISSION

PREPARED BY: Mark Shipley, Community Development Director

SUBJECT: Discussion and public hearing on a site plan for The Overlook at Campbell Station, Parcels 108 and 109, Tax Map 130, Zoned R-6/OSMFR, 820 N. Campbell Station Road, 31.94Acres (GBS Engineering, Applicant)

INTRODUCTION AND BACKGROUND: In 2014 amendments were made to the Multi-Family Residential Zoning District (R-6) which included the creation of an open space overlay for multi-family similar to the open space overlays created a few years ago for single-family detached and attached housing. This overlay provided for lessened setbacks and greater heights than would be permitted for a non-overlay R-6 development. In exchange, environmentally sensitive portions of a property would be avoided and become part of the 50% open space required for the overlay option.

The property at 820 N. Campbell Station Road and north of the Holiday Inn Express was rezoned to the new Open Space Multi-Family Residential Overlay (R-6/OSMFR) so that a multi-family residential development with lessened setbacks and greater heights could be constructed on the front portion of the property closest to N. Campbell Station Road in exchange for avoiding the steepest slopes and drainage area on much of the remainder of the property.

At the December 18, 2014 planning commission meeting, a site plan was conditionally approved for an apartment project that included 252 units and concentrated most of the development on the front portion of the property which is relatively flat and developable. **The conditions of this approval were never addressed so the project was never formally approved.** The developer came back to the planning commission at the March 19, 2015 meeting to request a clarification of building materials. Though brick had been originally mentioned when the site plan was approved, the commission agreed to accept stone as the masonry material for the building facades.

The developer then came back to the planning commission again in June 2015 to request approval for a new site plan that would involve crossing the drainage area and constructing two buildings in a heavily tree covered area with defined drainage of the northern half of the property. The purpose of this new site plan was to lessen development costs by reducing the height and amount of retaining walls. The staff did not support this new site plan because it encroached into areas with environmental sensitivity and was not consistent with the intent of the R-6/OSMFR Overlay. The developer presented their case for the new layout and noted that, in response to the staffs' concern, a pre-formed bridge would be used so that the drainageway could be spanned with very limited disturbance. The commission voted to approve the site plan with the pre-formed bridge subject to the staff approval of all aspects of the new site plan to ensure compliance with all applicable requirements, including the Architectural Design Standards.

No revisions were submitted so this new site plan was never finalized and approved. Now, the applicant is requesting approval for a new site plan that would again cross the drainage area but, rather than having the pre-formed bridge that would span over this area and minimize disturbance, they are proposing to place a culvert in the drainageway and grade the area around the culvert for this crossing.

RECOMMENDATION: This latest site plan encroaches further into the areas that were originally protected consistent with the R-6/OSMFR Overlay. Though the applicant has secured an assessment from TDEC and the Army Corp of Engineers that this portion of the drainageway is not a stream, the encroachment into this area is still very inconsistent with this overlay district. The additional disturbance associated with the latest site plan will cause the removal of specimen trees that could otherwise be saved with the prior submittal that was discussed with the planning commission. The staff does not support this increased disturbance since alternate measures are available and have already been proposed by the applicant.

In addition to a fundamental inconsistency with the R-6/OSMFR Overlay, included in your packet are the staffs' comments on the site plan that was submitted. Though the applicant has provided a revised set of plans that are included in your packet, the staff has indicated that if the original comments have not been satisfactorily addressed the staff will recommend postponement. This project has been in site plan development since December of 2014 and no site plan has ever been finalized. Given this history, the staff would recommend that the site plan be complete when presented to the planning commission.

The staff will provide an update at the meeting.

Ashley Miller

From: Ashley Miller
Sent: Wednesday, December 30, 2015 10:19 AM
To: 'Mark Bialik'; Patrick D. Iannelli
Cc: Darryl Smith; Mark Shipley; Gary Palmer; David Sparks; Dan Johnson; John Householder
Subject: Overlook at Campbell Station - Comments

Below are the staff comments for the revised Overlook at Campbell Station site plan. Thanks.

December 29, 2015

Mr. Mark Bialik
GBS Engineering
1313 Kalmia Road
Knoxville, TN 37909
mark@gsb-eng.net

SUBJECT: STAFF COMMENTS ON THE NEW SITE PLAN FOR THE OVERLOOK AT CAMPBELL STATION APARTMENTS, PARCELS 108 AND 109, TAX MAP 130

Dear Mark,

The Town staff has reviewed the above referenced site plan for compliance with the Town's regulations. Please address the following items and submit four (4) full size copies and one 11 x 17 set to the Farragut Town Hall by **Monday, January 11, 2016** if you wish for this to be considered at the January 21, 2016 planning commission meeting. Please note that, due to the number and significance of the comments below, if these comments are not satisfactorily addressed with the resubmittal, the staff will recommend postponement until the February meeting.

In the future please do not hesitate to set up a meeting with staff prior to submitting plans so that everyone is clear on what is expected. We will be happy to assist you in any manner possible. As you know, upon resubmittal, the staff would ask that you please include a letter which addresses each comment below and where the information that specifically addresses each comment can be found on the plans.

Fire Division: (Contact Dan Johnson at dan.johnson@townoffarragut.org)

- 1) Please provide adequate turning radius for a 53 foot long single axle aerial fire apparatus at point prior to bridge, where two aisle ways intersect at an angle. (by bldg. 9);
- 2) Please provide a remote emergency access road, in accordance with IFC D106, to provide a secondary access for emergency purposes;
- 3) Please provide the current fire hydrant flow data for the closest fire hydrants used to satisfy Appendix B and C. Data shall be less than 1 year old and include name of agency performing test, static pressure, residual pressure and flow in GPM.(data is from 2013);
- 4) Please provide written approval from First Utility District of Knox County. The data provided is from 2013;

- 5) Please provide hydraulic data to prove that adequate water, for fire suppression, can be provided given the new theoretical connections to the utility water system. No engineered flow data design was provided to prove that the fire flow requirements could be met at all fire hydrants within the complex;
- 6) Please provide details on how the designer plans to meet the following local ordinance. "Any structure in excess of 7,000 gross square feet or two or more stories shall be of Type I, II, III or IV construction." This requires both a vertical separation and horizontal separation. Several buildings are in excess of two stories;
- 7) Please provide the location of the note stipulating that all roadway pavement shall be heavy duty and meet the 75,000 lb. vehicle load;

Code Division: (Contact John Householder at jhouseholder@townoffarragut.org)

- 8) Please include with the plans all of the information requested in the site plan checklist numbers 76-81 that address the Codes Division requirements in the site plan application;

Planning Division: (Contact Mark Shipley at mark.shipley@townoffarragut.org or Ashley Miller at ashley.miller@townoffarragut.org)

- 9) In comparison with the previous submittal, the area of disturbance would appear to have increased not decreased due to more disturbance within the large drainageway area. Please re-check this and address specifically how the areas shown as permanent open space will be memorialized as such in a manner that runs with the land. A plat will be needed which will reference a covenant that is recorded and that describes the open space land areas and that they are to be left undisturbed in perpetuity. The exact language of this covenant will need to be reviewed with the Town staff and Town attorney;
- 10) Related to the previous comment, the additional disturbance along the drainageway is inconsistent with the intent of the OSMFR Zoning District Overlay. This additional disturbance will cause the removal of specimen trees that could otherwise be saved with the prior submittal that was discussed with the planning commission where the bridge would completely span the drainageway. The staff does not support this increased disturbance since alternate measures are available and have already been proposed by the applicant;
- 11) As was noted when this last came before the planning commission, this new site plan must adhere to all aspects of the adopted Architectural Design Standards (ADS). The plans that have been submitted are in conflict with the following standards:

- | | |
|------------------|---|
| Standard 1.1 b. | Provide a wide walking path (at least 8 feet wide) rather than a conventional sidewalk, along the collector or arterial streets surrounding the development, whenever possible; |
| Standard 1.9 c. | Align internal drive aisles to allow for future connections to adjoining properties; |
| Standard 1.15 b. | Avoid site development patterns that leave small patches of uncoordinated open spaces; |
| Standard 1.20 a. | Use stormwater management facilities, such as ponds, swales, and bioretention areas, as landscape amenities; |
| Standard 1.21 b. | Divide a large parking area into small pods that maintain the traditional sense of smaller parking areas within a green landscape; |
| Standard 1.27 b. | Use high quality materials such as brick and stone in the design of a retaining wall; |
| Standard 1.27 c. | Integrate landscaping into the design of a retaining wall; |
| Standard 1.37 e. | Minimize the use of rip rap and other devices that do not appear natural in character; |

- Standard 2.6 a. Incorporate iconic design features such as well-defined entries or tower elements into the design of a new development that is large scale or located in a highly visible location;
- Standard 2.16 f. Do not use synthetic stucco (EIFS), concrete masonry units (CMU), fiber cement siding (hardie-board) or panelized brick as a primary façade material, except on less visible upper floor facades, or to allow for flexibility in materials on the façade of a minor project;
- Standard 2.17 a. For new construction, use masonry as the primary material on at least 60% of the net façade area;
- Standard 2.17 b. For new construction that is taller than one-story, use masonry as the primary material on at least 75% of the net façade area of a ground floor façade;
- 12) Staff is concerned about the proposed units on the other side of the stream being situated within a huge drainage (depositional) area and what this could mean for building foundations and earth moving work to properly amend the soil for its intended purpose;
- 13) Please ensure that the acreage is consistent on all sheets and includes the annexed tract;
- 14) As noted in the ADS comments above, a ready rock style retaining wall would be inconsistent with these standards;
- 15) A new landscape plan is required and must be approved prior to the issuance of a grading permit;
- 16) In order to provide for enhanced protection, please use only metal t-posts for the wire backed silt fence due to proximity to environmentally sensitive areas and the OSMFR Overlay designation and show this on the detail sheet;
- 17) Please provide a color rendering of the buildings;
- 18) Please call out and include dimensions for all building heights for each building elevation so as to verify compliance with building heights;
- 19) Please include building material percentages based on the percentages required in the ADS and what is actually proposed;
- 20) Is "running bond" a form of panelized brick?
- 21) Vinyl siding for the dumpster enclosure and compactor does not comply with the ADS as this is well beyond an accent treatment;
- 22) To provide for a looping option the staff would recommend a pedestrian connection from the southwest parking lot sidewalk to the pedestrian facility along N. Campbell Station Road;
- 23) Per the ADS large rows of parking spaces must be broken into smaller pods. For example, the parking lots for the two buildings across the drainageway must include more interior islands. There are too many spaces without an island;
- 24) The depth and slope of some of the storm sewers is of great concern;
- 25) Some of the sheets are too busy with information and cannot be properly evaluated;
- 26) The rip rap level spreader is not consistent with the ADS. Please revise;
- 27) Along all buffer strips please include a note and show on the plans that the tree protection fencing will be placed to the drip line of any existing trees within the buffer strips;
- 28) Please show tree protection fencing as at least 4 feet in height with metal t-posts spaced no further than 8 feet apart with a wire across the top to prevent sagging;
- 29) Please show the proposed height for the parking lot pole lights;
- 30) Are there any other exterior lights proposed? If so, please include details on the plans;
- 31) All HVAC units must be screened by the building they are serving. The civil sheets need to show a detail of how this is being addressed;
- 32) Please remove reference to "Not for Construction"
- 33) Please add the aquatic buffer note and please adjust the spelling of this term on the plans;
- 34) Please verify that the sidewalks abutting parking spaces are 6 feet wide to adjust for car overhang so that at least 5 feet of clear sidewalk area is provided;

Engineering Division: (Contact Darryl Smith at darryl.smith@townoffarragut.org)

- 35) Please check Detail 6 – Basin B Outlet structure (sheet C9). Pipe and 2.75 inch orifice inverts don't match calculations or lower portion of detail. Also, orifice is shown as 1.5" diameter in lower portion of detail;
- 36) Please check pipe JB-8 to JB-9. 25.27% pipe grade should probably be anchored in trench;
- 37) Utility plans show water and sewer, but are gas, electric, telephone and cable included? Given the scale of the drawings, it is difficult to tell;
- 38) Please submit irrevocable letter of credit for erosion control for \$95,000.
- 39) Please submit Drainage Fee of \$8,130.
- 40) Please submit NOC.

In addition to the e-mail addresses provided above you may also call the designated staff person(s) at 865-966-7057 if you have any questions on the above items. Unless specified otherwise, please include all requested information on the plans. Thank you for your assistance.

Sincerely,

Mark Shipley, AICP
Community Development Director

Darryl Smith, PE
Town Engineer

ashley miller, CFM

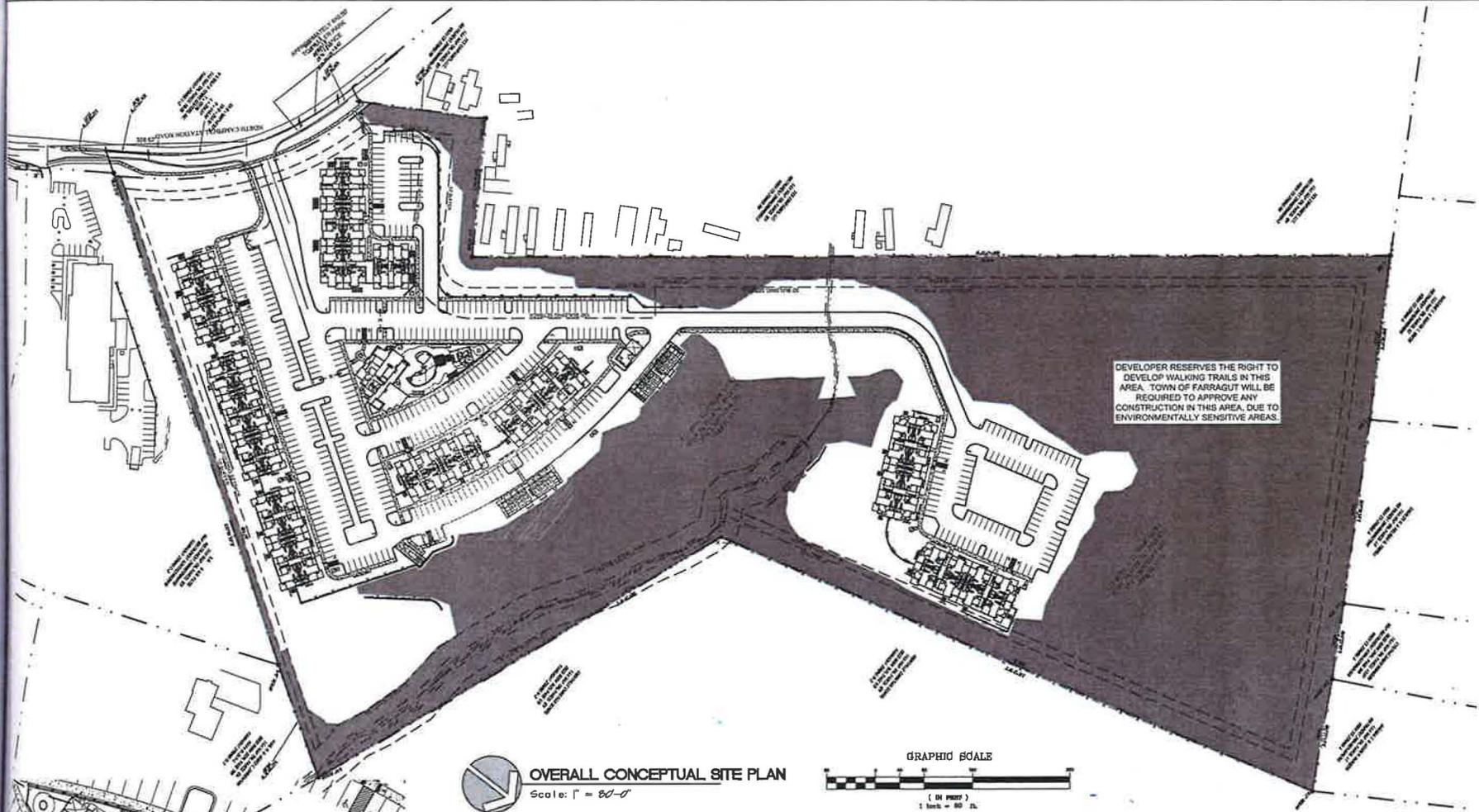
ASSISTANT COMMUNITY DEVELOPMENT DIRECTOR

EMAIL • AMILLER@TOWNOFFARRAGUT.ORG

PHONE • 865.966.7057 *Office*
865.671.7652 *Fax*

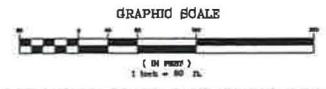
ADDRESS • 11408 MUNICIPAL CENTER DRIVE
FARRAGUT, TN 37934





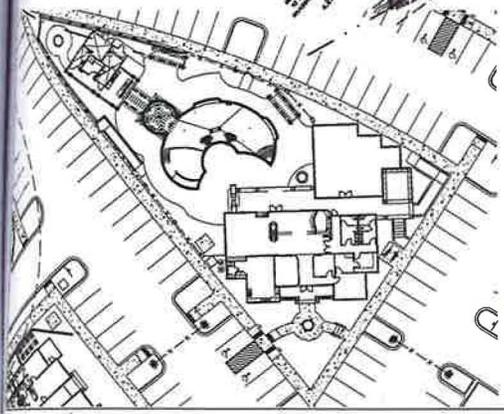
DEVELOPER RESERVES THE RIGHT TO DEVELOP WALKING TRAILS IN THIS AREA. TOWN OF FARRAGUT WILL BE REQUIRED TO APPROVE ANY CONSTRUCTION IN THIS AREA, DUE TO ENVIRONMENTALLY SENSITIVE AREAS.

OVERALL CONCEPTUAL SITE PLAN
Scale: 1" = 80'-0"



PARKING BREAKDOWN:
MINIMUM PARKING REQ'D = 1.75 SPACES PER UNIT = 271 UNITS x 1.75 = 474 SPACES
TOTAL PARKING SHOWN = 480 SPACES

PRESERVED AREA BREAKDOWN:
PROTECTED AREA = 717,460 SF = 16.47 ACRES
TOTAL AREA = 1,390,000 SF = 31.91 ACRES
16.47 / 31.91 = 51.61%



CLUBHOUSE/POOL AREA BLOW-UP
Scale: 1" = 30'-0"
GRAPHIC SCALE
(1 IN FEET) 1 inch = 30 ft.

1313 Kalmia Road
Knoxville, TN 37909
Phn: 865.566.0185
Fax: 888.485.7005

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JAN 11 2016

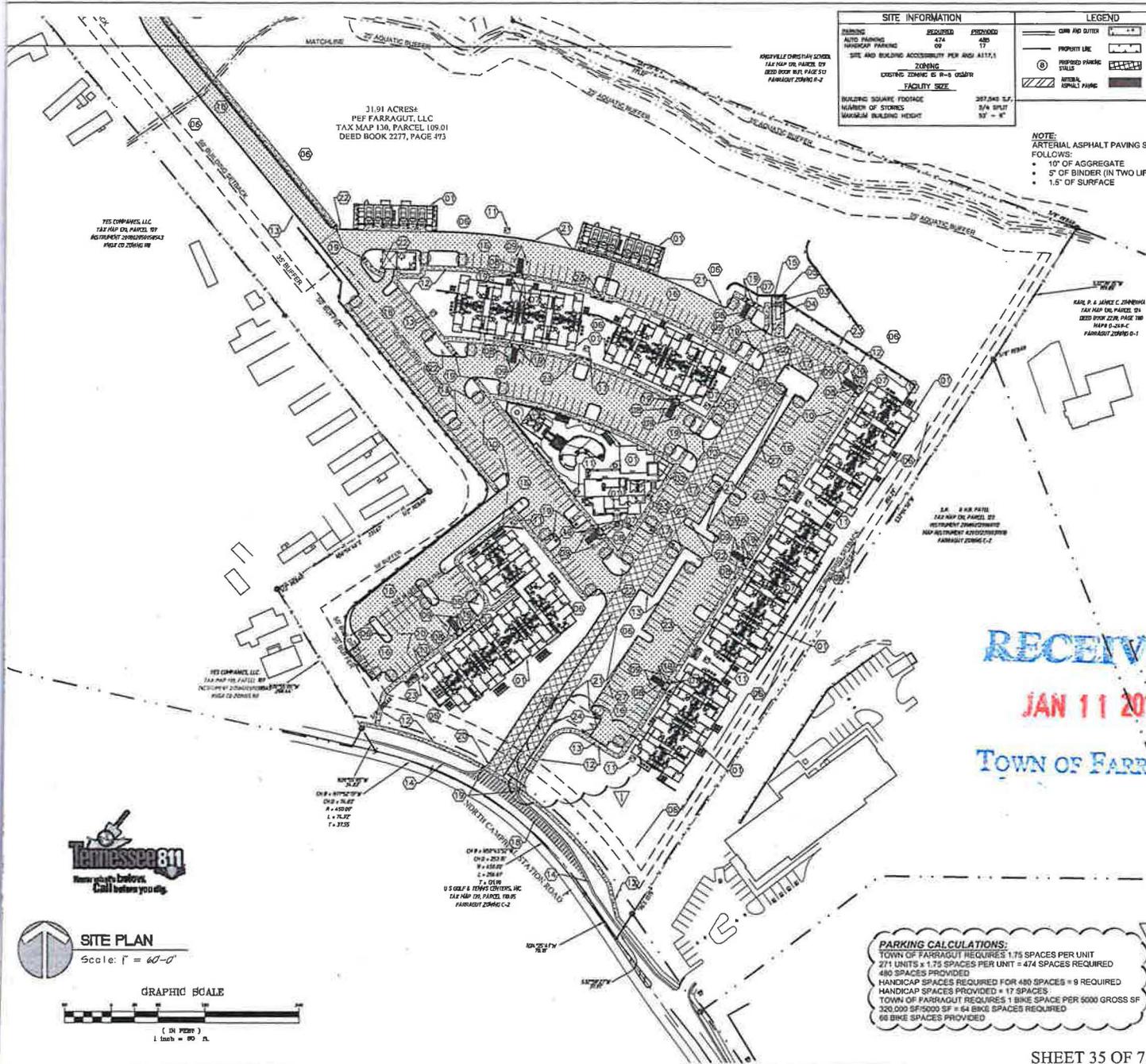
TOWN OF FARRAGUT



SHEET 26 OF 78

REV.	DESCRIPTION	BY	DATE
1	Revised per Town Comments	MAB	01-08-2016

TITLE: OVERALL SITE PLAN LOCATION: 820 N CAMPBELL STATION ROAD FARRAGUT, TENNESSEE 37932 CLT Map 130, Parcel Nos. 108 & 109	DRAWN BY: - CHECKED BY: - FILE NAME: 2086 - C1.0 JOB NUMBER: 2086	SHEET NO: C1.0
Owner: PEF FARRAGUT, LLC	ISSUE DATE: 12/18/2015	



SITE INFORMATION		
BUILDING	REQUIRED	PROVIDED
AUTO PARKING	474	480
HANDICAP PARKING	00	17
SITE AND BUILDING ACCESSIBILITY PER ADA (117.1)		
ZONING		
EXISTING ZONING IS P-4 (MAP R)		
FACILITY SIZE		
BUILDING SQUARE FOOTAGE	207,045 S.F.	
NUMBER OF STORES	3/4 SPLIT	
MAXIMUM BUILDING HEIGHT	37' - 0"	

LEGEND	
	CONCRETE
	EXISTING DUTY ASPHALT PAVING
	NEW BIT ASPHALT PAVING
	6" ASPHALT SUBGRADE

NOTE:
ARTERIAL ASPHALT PAVING SECTION SHALL BE AS FOLLOWS:
 • 10" OF AGGREGATE
 • 5" OF BINDER (IN TWO LIFTS)
 • 1.5" OF SURFACE

CONSTRUCTION NOTES

- NEW APARTMENT B AND ACCESSORY BUILDING (SEE ARCHITECTURAL DRAWING) INSTALLED BY CONTRACTOR.
- MAIL FACILITY, SEE ARCH DRAWING A12 & A113 FOR DETAILS. REINFORCE CONCRETE PAD, FURNISHED AND INSTALLED BY CONTRACTOR.
- COMPACTOR FACILITY, SEE ARCH DRAWING A12 & A113 FOR DETAILS. REINFORCED CONCRETE PAD, FURNISHED AND INSTALLED BY CONTRACTOR.
- COMPACTOR, FURNISHED AND INSTALLED BY TRASH COLLECTOR.
- 4" STEEL PIPE ROLLER FURNISHED, INSTALLED AND PAINTED BY CONTR (SEE CIVIL DWGS FOR SPECS.).
- LANDSCAPE AREA INSTALLED BY CONTRACTOR.
- "HANDICAP PARKING" SIGNAL MOUNTED ON A POLE, FURNISHED AND INSTALLED BY CONTRACTOR.
- TRAFFIC STRIPING 4" WIDE PAINTED (WHITE) PARALLEL STRIPES AT 16" O.C. FURNISHED AND INSTALLED BY CONTRACTOR.
- PAVEMENT SYMBOL, AND LETTERING PER D.O.T. SPECIFICATIONS (TYP), FURNISHED AND INSTALLED BY CONTRACTOR.
- TRAFFIC STRIPING 4" WIDE PAINTED (WHITE) PER PARKING SPACE, FURNISH AND INSTALLED BY CONTRACTOR.
- 7'-0" X 7'-0" X 6" REINFORCED CONCRETE PAD FOR ELECTRICAL TRANSFORMER, INSTALLED BY CONTRACTOR.
- 4" REINFORCED CONCRETE SIDEWALK, SEE SECTIONS AND DETAILS FOR SPECIFICATIONS, INSTALLED BY CONTRACTOR.
- CONCRETE CURB AND GUTTER, SEE SECTIONS AND DETAILS FOR SPECIFICATIONS, INSTALLED BY CONTRACTOR.
- TOT CONCRETE 6" O.C. CURB & GUTTER, SEE SECTIONS AND DETAILS FOR SPECIFICATIONS, INSTALLED BY CONTRACTOR.
- CONCRETE PAVEMENT SECTION, FURNISHED AND INSTALLED BY CONTRACTOR.
- STANDARD DUTY ASPHALT PAVEMENT SECTION, FURNISHED AND INSTALLED BY CONTRACTOR.
- HEAVY DUTY ASPHALT PAVEMENT SECTION, FURNISHED AND INSTALLED BY CONTRACTOR.
- ARTERIAL ASPHALT PAVEMENT SECTION, FURNISHED AND INSTALLED BY CONTRACTOR.
- HANDICAP RAMP, PER DETAILS, FURNISHED AND INSTALLED BY CONTRACTOR.
- NEW STOP SIGN (30" x 30"), PER TOWN OF FARRAGUT STANDARDS, FURNISHED AND INSTALLED BY CONTRACTOR.
- CONCRETE CURB CUT, FURNISHED AND INSTALLED BY CONTRACTOR. SEE DETAILS FOR TYPICAL SECTION.
- NEW STOP SIGN (24" x 24"), PER TOWN OF FARRAGUT REQUIREMENTS, FURNISHED AND INSTALLED BY CONTRACTOR.
- NEW BICYCLE RACK(S), SEE DETAILS FOR MORE DETAIL. CONTRACTOR TO PROVIDE AND INSTALL.
- SECONDARY POINT OF ACCESS FOR FIRE DEPARTMENT. GARDEN WALLS AND GATES PROVIDED AND INSTALLED BY CONTRACTOR. GATE TO BE LOCKED & ONLY PROVIDED TO FIRE DEPARTMENT.
- NEW 4 FOOT HIGH COATED CHAINLINK FENCE. CONTRACTOR SHALL PROVIDE AND INSTALL.
- SIGHT LIGHTING, FURNISHED AND INSTALLED BY CONTRACTOR, SEE ELECTRICAL PLAN FOR DETAILS.
- WHEEL STOPS, SEE DETAILS FOR MORE INFORMATION. CONTRACTOR TO PROVIDE AND INSTALL.

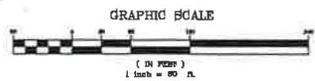
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 TOWN OF FARRAGUT

GENERAL PAVING NOTES

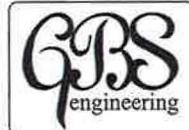
- ALL MANHOLES MUST BE SET 2" HIGHER THAN TO PROVIDE A CROWN IN A 24" AREA AROUND EACH MANHOLE.
- SUBBASE MUST BE COMPACTED TO 95% STANDARD PROCTOR (ASTM D-1557) WATER CONTENT WITHIN 1.5% OF OPTIMUM.
- STONE BASE MUST BE COMPACTED TO 95% STANDARD PROCTOR (ASTM D-1557) WATER CONTENT WITHIN 1.5% OF OPTIMUM.
- PRIOR TO INSTALLING BITUMINOUS PAVING, CONTRACTOR IS TO PROOF-HOLES SUBBASE USING HEAVY, PNEUMATIC TIRE ROLLERS TO LOCATE AREAS THAT UNSTABLE OR THAT REQUIRE FURTHER COMPACTION. NOTIFY CONSTRUCTION MANAGER IN WRITING OF ANY UNSATISFACTORY CONDITIONS. DO NOT BEGIN PAVEMENT INSTALLATION UNTIL THESE CONDITIONS HAVE BEEN SATISFACTORILY CORRECTED.
- CONCRETE COLLAR IS REQUIRED FOR ALL STRUCTURES IN PAVEMENT - SEE SPECIFICATIONS.
- SEAL COAT TO CONFORM TO APCA SPECIFICATIONS FOR A SAND SEAL WITH POUNDS OF #4 - #100 AGGREGATE AND 0.15 GALLONS OF ASPHALT PER SQUARE YARD OF FINISHED AREA.



SITE PLAN
 Scale: 1" = 60'-0"



PARKING CALCULATIONS:
 TOWN OF FARRAGUT REQUIRES 1.75 SPACES PER UNIT
 271 UNITS x 1.75 SPACES PER UNIT = 474 SPACES REQUIRED
 480 SPACES PROVIDED
 HANDICAP SPACES REQUIRED FOR 480 SPACES = 9 REQUIRED
 HANDICAP SPACES PROVIDED = 17 SPACES
 TOWN OF FARRAGUT REQUIRES 1 BIKE SPACE PER 5000 GROSS SF
 200,000 SF / 5000 SF = 40 BIKE SPACES REQUIRED
 60 BIKE SPACES PROVIDED



1313 Kalmia Road
 Knoxville, TN 37909
 Phn: 865.566.0185
 Fax: 888.485.7005



REV.	DESCRIPTION	BY	DATE
1	Revised per Town Comments	MAB	01/08/2015
-	-	-	-
-	-	-	-
-	-	-	-
-	-	-	-

TITLE:	SITE PLAN	DRAWN BY:	-	SHEET	-
LOCATION:	820 N CAMPBELL STATION ROAD FARRAGUT, TENNESSEE 37932 CLT Map 130, Parcel Nos. 108 & 109	CHECKED BY:	-	FILE NAME:	2086 - C4 0
Owner:	PEF FARRAGUT, LLC	JOB NUMBER:	2086	ISSUE DATE:	12/18/2015

SITE INFORMATION			LEGEND	
STAIRS	RECURS	PROPOSED	CURB AND GUTTER	CONCRETE
ASPH. PARKING	474	480	PROPERTY LINE	STANDARD DUTY ASPHALT PAVING
PAVED PARKING	08	17	REINFORCED CONCRETE	HEAVY DUTY ASPHALT PAVING
SITE AND BUILDING ACCESSIBILITY PER AND A111.1			REINFORCED CONCRETE	HEAVY DUTY ASPHALT PAVING
EXISTING ZONING IS R-6 OSMPF			ARTERIAL ASPHALT PAVING	IF NOT ASPHALT BILING TRAIL
FACILITY SIZE				
BUILDING SQUARE FOOTAGE	297,240 S.F.			
NUMBER OF STORES	3/4 STORE			
MAXIMUM BUILDING HEIGHT	25' - 0"			

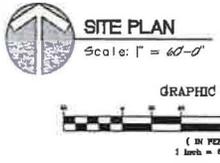
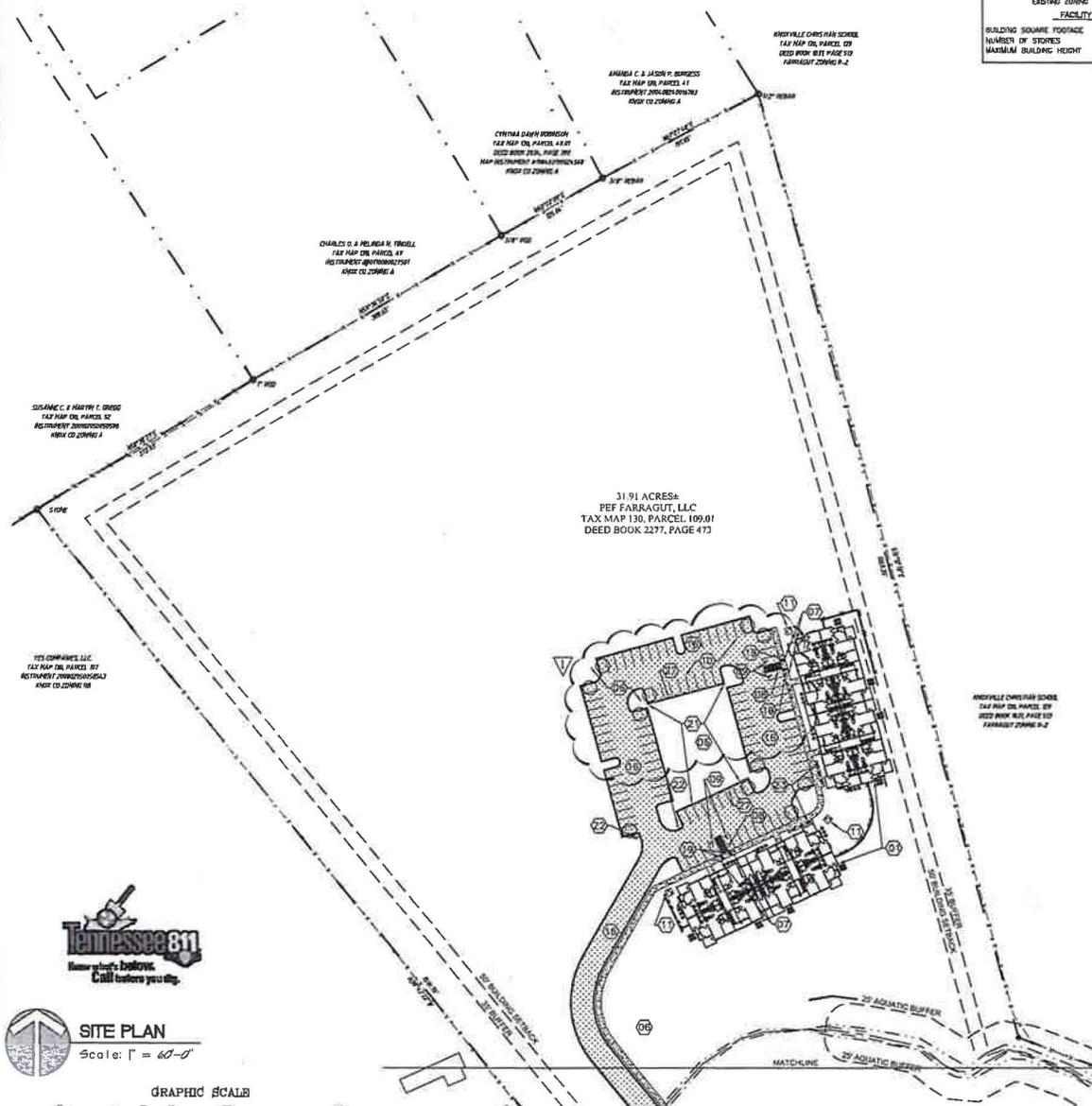
NOTE:
 ARTERIAL ASPHALT PAVING SECTION SHALL BE AS FOLLOWS:
 • 10" OF AGGREGATE
 • 5" OF BINDER (IN TWO LIFTS)
 • 1.5" OF SURFACE

- CONSTRUCTION NOTES**
- NEW APARTMENTS AND ACCESSORY BUILDING (SEE ARCHITECTURAL DRAWINGS), INSTALLED BY CONTRACTOR.
 - MAIL FACILITY. SEE ARCH DRAWING AT 12 & A113 FOR DETAILS. REINFORCED CONCRETE PAD, FURNISHED AND INSTALLED BY CONTRACTOR.
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 - COMPACTOR, FURNISHED AND INSTALLED BY TRASH COLLECTOR.
 - 4" STEEL PIPE BOLLARD FURNISHED, INSTALLED AND PAINTED BY CONTRACTOR (SEE CIVIL DIVISION FOR SPEC'S).
 - LANDSCAPE AREA INSTALLED BY CONTRACTOR.
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 - CONCRETE CURB AND GUTTER. SEE SECTIONS AND DETAILS FOR SPECIFICATIONS. INSTALLED BY CONTRACTOR.
 - TROT CONCRETE 6-30 CURB & GUTTER. SEE SECTIONS AND DETAILS FOR SPECIFICATIONS. INSTALLED BY CONTRACTOR.
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 - SIGHT LIGHTING, FURNISHED AND INSTALLED BY CONTRACTOR, SEE ELECTRICAL PLAN FOR DETAILS.
 - WHEEL STOPS, SEE DETAILS FOR MORE INFORMATION. CONTRACTOR TO PROVIDE AND INSTALL.

RECEIVED
JAN 11 2016
TOWN OF FARRAGUT

- GENERAL PAVING NOTES**
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 - SUB-BASE MUST BE COMPACTED TO 95% STANDARD PROCTOR (ASTM D-1) WITH A WATER CONTENT WITHIN 1.5% OF OPTIMUM.
 - STONE BASE MUST BE COMPACTED TO 95% STANDARD PROCTOR (ASTM D-1) WITH A WATER CONTENT WITHIN 1.5% OF OPTIMUM.
 - PRIOR TO INSTALLING BITUMINOUS PAVING, CONTRACTOR IS TO PROOF-ROLL SUB-BASE USING HEAVY, PNEUMATIC-TIRED ROLLERS TO LOCATE AREAS THAT ARE UNSTABLE OR THAT REQUIRE FURTHER COMPACTION. NOTIFY CONSTRUCTION MANAGER IN WRITING OF ANY UNSATISFACTORY CONDITION. DO NOT BEGIN PAVING INSTALLATION UNTIL THESE CONDITIONS HAVE BEEN SATISFACTORILY CORRECTED. CONCRETE COLLAR IS REQUIRED FOR ALL STRUCTURES IN PAVEMENT - SEE DETAIL.
 - SEAL COAT TO CONFORM TO APWA SPECIFICATIONS FOR A SAND SEAL WITH 15 POUNDS OF #8 - #10 AGGREGATE AND 0.15 GALLONS OF ASPHALT PER SQUARE YARD OF FINISHED AREA.

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 480 SPACES PROVIDED
 HANDICAP SPACES REQUIRED FOR 480 SPACES = 9 REQUIRED
 HANDICAP SPACES PROVIDED = 17 SPACES
 TOWN OF FARRAGUT REQUIRES 1 BIKE SPACE PER 5000 GROSS SF
 320,000 SF / 5000 SF = 64 BIKE SPACES REQUIRED
 66 BIKE SPACES PROVIDED



SHEET 36 OF 78

1313 Kalmia Road
 Knoxville, TN 37909
 Phn: 865.566.0185
 Fax: 888.485.7005

REV	DESCRIPTION	BY	DATE
1	Revised per Town Comments	MAB	01-08-2016
-	-	-	-
-	-	-	-
-	-	-	-

TITLE: SITE PLAN	DRAWN BY: -	SHEET NO:
LOCATION: 820 N CAMPBELL STATION ROAD FARRAGUT, TENNESSEE 37932 CLT Map 130, Parcel Nos. 108 & 109	CHECKED BY: -	C4.1
Owner: PEF FARRAGUT, LLC	FILE NAME: 2086 - C4 0	
	JOB NUMBER: 2086	
	ISSUE DATE: 12/18/2015	



Building "A"

WALL MOUNTED BLDG. LIGHT ☉
BREEZEWAY ENTRANCES

Richier 49560LED

ITEM	DESCRIPTION	QTY	UNIT
1	WALL MOUNTED BLDG. LIGHT	1	EA
2	BREEZEWAY ENTRANCES	1	EA

NOTE: 720 LUMENS


PDI Architecture, LLC
 1020 Breazeale Road, Pendleton, SC 29670
 (864) 224-5800

Overlook at Campbell Station

Farragut, Tennessee
January 11, 2016

RECEIVED
 JAN 12 2016
 TOWN OF FARRAGUT



Building "F"

 PDI Architecture, LLC
1020 Brazeale Road, Pendleton, SC 29670
(864) 224-5800

Overlook at Campbell Station

Farragut, Tennessee
January 11, 2016

RECEIVED
JAN 11 2016
TOWN OF FARRAGUT



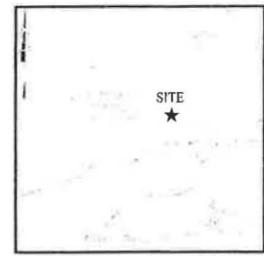
Clubhouse

 PDI Architecture, LLC
1020 Breazeale Road, Pendleton, SC 29670
(864) 224-5800

Overlook at Campbell Station

Farragut, Tennessee
January 11, 2016

REVISION
JAN 12
TOWN OF T6



LOCATION MAP



Leon
Lawson

ORIGINAL SITE
LAYOUT



LEGEND

-  25%-30% SLOPES
-  30%-40% SLOPES
-  40%-50% SLOPES

- NOTES:
1. SURVEY FOR THE SOUTH PORTION OF THE SITE PROVIDED BY MILLER LAND SURVEYING, LLC. CONTOURS ARE AT 1' INTERVALS.
 2. CONTOURS FOR THE NORTH PORTION OF THE SITE ARE FROM GIS TOPOGRAPHY. CONTOURS ARE AT 2' INTERVALS.
 3. PROPOSED SITE IMPROVEMENTS ARE SHOWN FOR REFERENCE.

FARRAGUT APARTMENTS

820 N. Campbell Station Road
Farragut, Tennessee 37932
CLT Map 130, Parcel Nos. 108 & 109
Owner: CG FARRAGUT, LLC

Slope Analysis

C0

MEETING DATE: January 21, 2016

REPORT TO THE FARRAGUT MUNICIPAL PLANNING COMMISSION

PREPARED BY: Mark Shipley, Community Development Director

SUBJECT: Discussion and public hearing on a request to rezone Parcels 18 and 18.01, Tax Map 162, located at 1006 McFee Road, approximately 6 Acres, from R-1 to R-2 (John and Teresa Kirkland, Applicants)

INTRODUCTION AND BACKGROUND: This item involves a request to rezone two existing parcels along McFee Road south of the roundabout from Rural Residential to General Single-Family Residential. The southwest portion of the Town is still largely undeveloped and has historically been large lot residential and agriculture.

With the improvements to McFee Road that occurred a few years ago, the area is likely to transition away from this rural character and into a more suburban plan of development. When the land use plan was being updated in 2012, the general southwest area was primarily seen as a candidate for open space oriented residential development. The area is known to have numerous sinkholes and an open space overlay would work best with this land feature. The staff is not aware of any sinkholes, however, on the subject parcels.

The request before you reflects a minimal change from the current zoning. The property owner is interested in developing a small subdivision but the property does not currently have access to utility district sanitary sewer. Under the existing Rural Residential Zoning District (R-1), the minimum lot size for a new lot without utility district sewer is one acre. The applicant is requesting a rezoning to the General Single-Family Residential District (R-2) because it permits a smaller minimum lot size where sanitary sewer is not available. In such a case, the minimum lot size in R-2 is 25,000 square feet (a little over half an acre).

RECOMMENDATION: From the staffs' perspective these parcels would best be used in combination with larger adjoining tracts (which are not owned by the applicant) as part of an open space overlay residential development. Such a development could also provide for a housing mixture (attached and detached) that could transition well with the mixed use neighborhood land use that is shown on the future land use map to the north near the roundabout.

Though the request to R-2 is not inconsistent with some of the current zoning in the area, this request should also be considered in relation to the future development of this general area. The vision of the CLUP is a small mixed use neighborhood node near the roundabout with abutting residential development that would provide for appropriate transition and account for the physical characteristics of much of the land in this portion of the Town. The question at this time is whether this rezoning request would advance this vision or create an impediment to this vision.

Regardless of the zoning designation, access for any further division of these parcels would have to comply with the Town's Driveways and Other Accessways Ordinance. This has been conveyed to the applicant and they are aware that a zoning modification would not lessen adherence to this ordinance. The staff would not support any deviation from the 400 foot distance separation between driveways, especially given the walking trail along McFee Road. Restricting access will help to lessen pedestrian/vehicular conflicts.

Along with Ordinance 16-03, included in your packet is Resolution PC-16-02 which recommends approval of Ordinance 16-03.



LIVE CLOSER • GO FURTHER
farragut

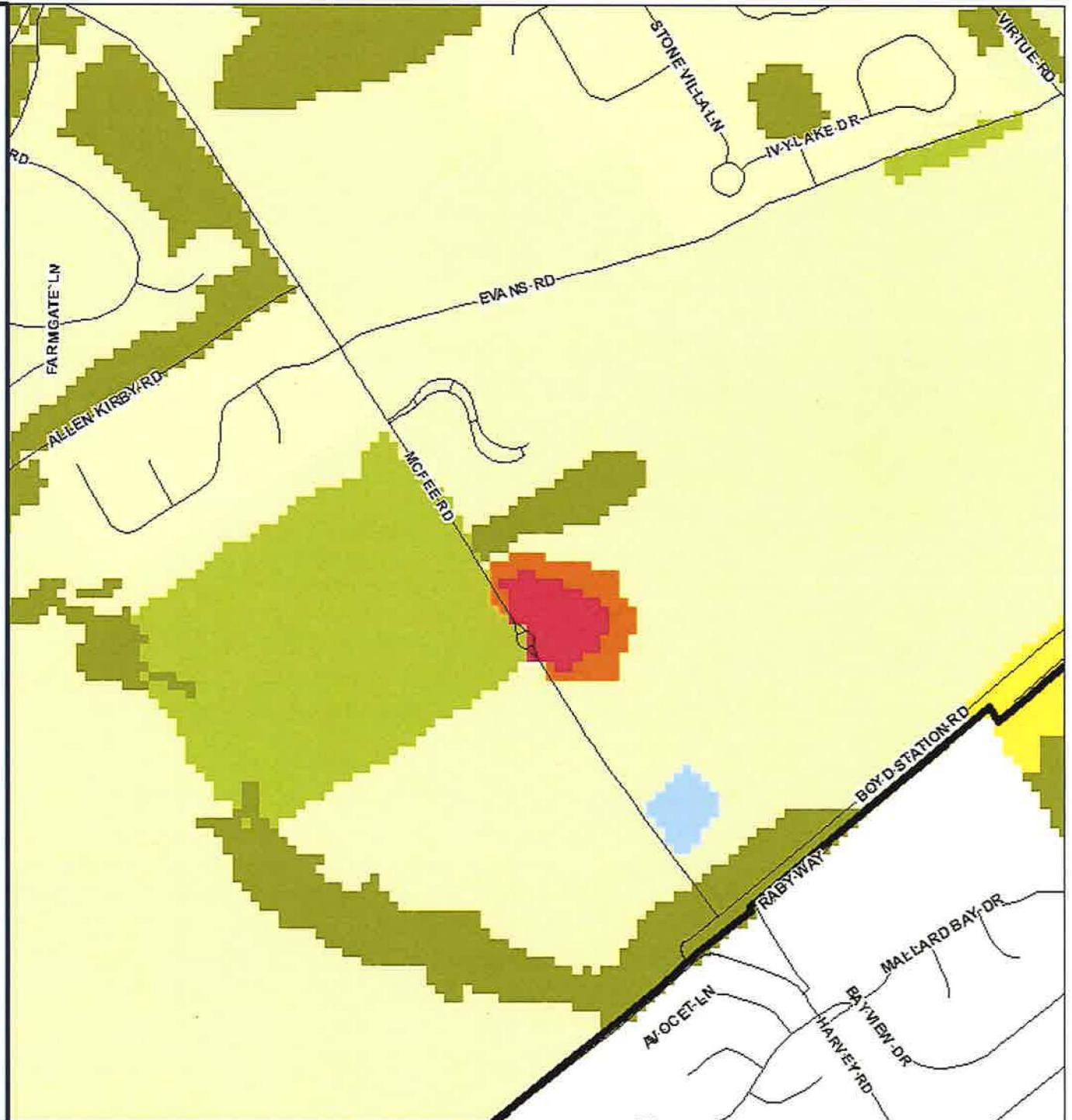
Future Land Use Plan

Legend

-  Town Limit
-  Streets
-  Civic/Institutional
-  Office/Light industrial
-  LU Industrial
-  Commercial
-  Regional Commercial
-  Open Space
-  Parks and Rec
-  Open Space Cluster Residential
-  Rural Residential (> 1 Acre lots)
-  Very Low Density Residential (2-4 DUs / Acre)
-  Low Density Residential (3-6 DUs / Acre)
-  Med Density Residential (6-12 DUs / Acre)
-  Mixed Use Neighborhood (6-10 DUs / Acre)
-  Mixed Use Town Center (8-15 DUs / Acre)



1 in = 800 ft



RESOLUTION PC-16-02

FARRAGUT MUNICIPAL PLANNING COMMISSION

A RESOLUTION TO APPROVE AN AMENDMENT TO THE FARRAGUT ZONING MAP, ORDINANCE 86-16, TO RECOMMEND THE APPROVAL OF THE REZONING OF PARCELS 18 AND 18.01, TAX MAP 162, LOCATED AT 932 AND 1006 MCFEE ROAD, APPROXIMATELY 6 ACRES, FROM R-1 (RURAL SINGLE-FAMILY RESIDENTIAL) TO R-2 (GENERAL SINGLE-FAMILY RESIDENTIAL)

WHEREAS, the Tennessee Code Annotated, Section 13-4-201et seq, provides that the Municipal Planning Commission shall make and adopt a general plan for the physical development of the municipality; and

WHEREAS, the Farragut Municipal Planning Commission has adopted various elements of a zoning plan as an element of the general plan for physical development; and

WHEREAS, a public hearing was held on this request on January 21, 2016;

NOW, THEREFORE, BE IT RESOLVED that the Farragut Municipal Planning Commission hereby recommends approval to the Farragut Board of Mayor and Aldermen of an ordinance, amending Ordinance 86-16, of the Farragut Zoning Ordinance, by adding Ordinance 16-03.

ADOPTED this 21st day of January, 2016.

Rita Holladay, Chairman

Edwin K. Whiting, Secretary

ORDINANCE: 16-03
PREPARED BY: Shipley
REQUESTED BY: John & Teresa Kirkland
CERTIFIED BY FMPC: January 21, 2016
PUBLIC HEARING: _____
PUBLISHED IN: _____
DATE: _____
1ST READING: _____
2ND READING: _____
PUBLISHED IN: _____
DATE: _____

AN ORDINANCE AMENDING THE ZONING ORDINANCE OF THE TOWN OF FARRAGUT, TENNESSEE, ORDINANCE 86-16, AS AMENDED, PURSUANT TO SECTION 13-4-201, TENNESSEE CODE ANNOTATED.

BE IT ORDAINED by the Board of Mayor and Aldermen of the Town of Farragut, Tennessee, that the Farragut Zoning Ordinance, Ordinance 86-16, as amended, is hereby amended as follows:

SECTION 1.

The Farragut Zoning Ordinance, Ordinance 86-16, as amended, is hereby amended by rezoning Parcels 18 and 18.01, Tax Map 162, located at 932 and 1006 McFee Road, from Rural Single-Family Residential (R-1) to General Single-Family Residential (R-2) (Exhibits A and B).

SECTION 2.

This ordinance shall take effect from and after its final passage and publication, the public welfare requiring it.

 Dr. Ralph McGill, Mayor

 Allison Myers, Town Recorder

Certified to the Farragut Board of Mayor and Aldermen this _____ day of _____, 2016, with approval recommended.

Rita Holladay, Chairman

Edwin K. Whiting, Secretary

FARRAGUT MUNICIPAL PLANNING COMMISSION



LIVE FLORES • DO FINTESE
farragut

**Ordinance 16-03
Exhibit A**

Rezone
Parcels 18 and 18.01, Tax Map 162

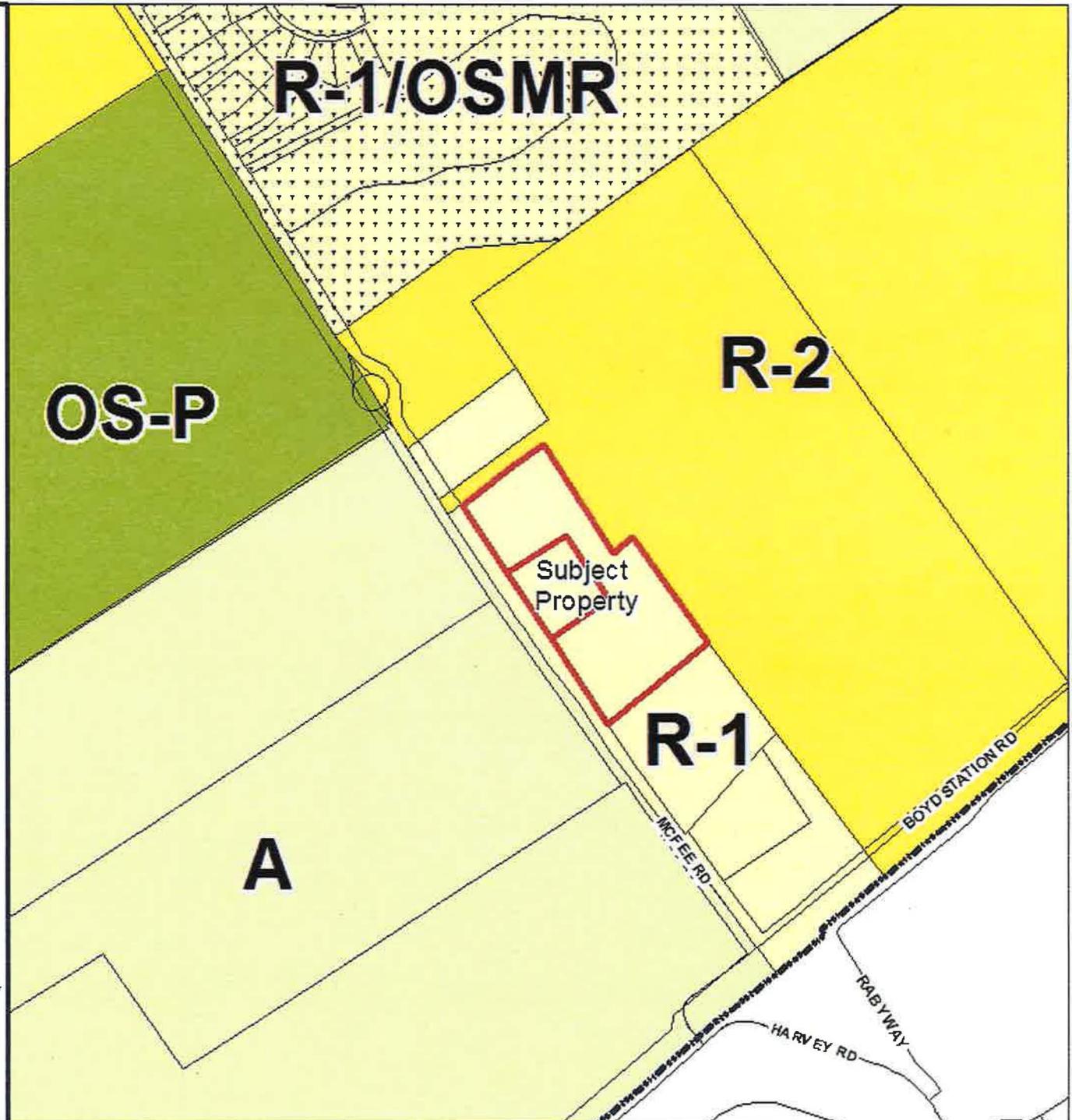
From
Rural Single Family
Residential (R-1)
to
General Single Family
Residential (R-2)

Legend

- Streets
-  Subject Property
-  Parcel Owners_TOF
-  A, Agricultural
-  OS-P, Open Space/Park
-  R-1, Rural Single-Family Residential
-  R-2, General Single-Family Residential
-  OSMR, Open Space Mixed Residential Overlay
-  Town Limit



1 in = 400 ft



MEETING DATE: January 21, 2016

REPORT TO THE FARRAGUT MUNICIPAL PLANNING COMMISSION

PREPARED BY: Mark Shipley, Community Development Director

SUBJECT: Discussion and public hearing on a request to amend the 2012 Comprehensive Land Use Plan (CLUP) for a portion of the property located at 12639 Kingston Pike, 30.13 Acres, from Civic Institutional to Commercial (Paul R. Swan, Applicant)

INTRODUCTION AND BACKGROUND: This item has been discussed at the previous two planning commission meetings and is now being presented for a vote. As was stated during these sessions, the planning commission at their March 2015 and April 2015 meetings reviewed a request from Horne Real Estate to amend the CLUP in relation to this property.

The commission voted unanimously to amend the area that was previously classified as Medium Density Residential to Commercial and to amend the area that was previously classified as Low Density Residential to Civic Institutional though the applicant had originally requested a Commercial designation for the entire property.

RECOMMENDATION: The staff would recommend consistency with the previous unanimous action taken by the planning commission. The staff would not support a commercial designation for the area currently designated as civic/institutional. The area north of Union Road is residential and a transitional land use and zoning district would be more consistent with the CLUP and good planning practice. The future land use map does not show any properties with a Commercial designation that extends to Union Road. An amendment to extend Commercial to Union Road would be inconsistent with the future land use map for this general area and, as noted above, the recent action taken by the planning commission in April 2015.



LIVE GREENS • GO FARRAGUT
farragut

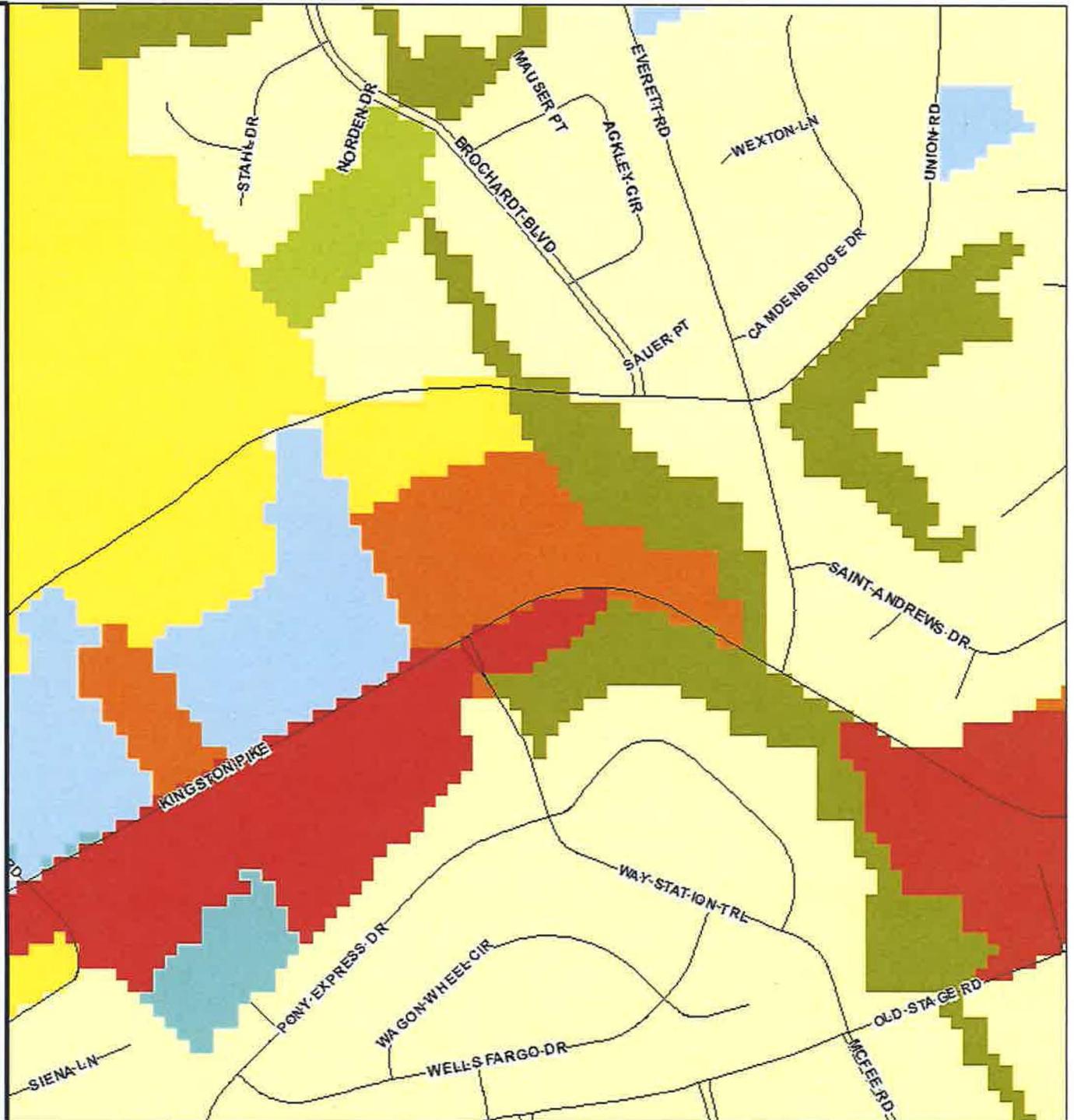
Future Land Use Plan

Legend

-  Town Limit
-  Streets
-  Civic/Institutional
-  Office/Light industrial
-  LU Industrial
-  Commercial
-  Regional Commercial
-  Open Space
-  Parks and Rec
-  Open Space Cluster Residential
-  Rural Residential (> 1 Acre lots)
-  Very Low Density Residential (2-4 DUs / Acre)
-  Low Density Residential (3-6 DUs / Acre)
-  Med Density Residential (6-12 DUs / Acre)
-  Mixed Use Neighborhood (6-10 DUs / Acre)
-  Mixed Use Town Center (8-15 DUs / Acre)



1 in = 600 ft



MEETING DATE: January 21, 2016

REPORT TO THE FARRAGUT MUNICIPAL PLANNING COMMISSION

PREPARED BY: Mark Shipley, Community Development Director

SUBJECT: Discussion and public hearing on a request to rezone Parcel 58, Tax Map 151, 12639 Kingston Pike, 30.13 Acres, from R-2 and Floodplain to C-1, Floodplain, and Open Space/Park (Paul R. Swan, Applicant)

INTRODUCTION AND BACKGROUND: Please refer to the previous item.

RECOMMENDATION: Consistent with the staffs' position on the CLUP amendment request, the staff would support rezoning to General Commercial (C-1) the portion of the property that is designated as Commercial on the future land use map. The staff would not support extending this zoning designation to the portion of the property that is currently classified on the future land use map as Civic Institutional.

At the meeting last month, the applicant presented a preliminary concept drawing of how they would envision the property to develop if rezoned to C-1. As with previous rezoning requests that have come before the commission, the staff would caution making a decision based on a specific concept plan or a particular developer. The question to answer with any rezoning is whether the district requested and all of the provisions related to that district are appropriate for the property. Plans and developers can change and this should be understood at this stage of the process.

In terms of the amended request to rezone the area east of the western limit of the floodway to Open Space/Park (OS/P), the staff would view this as desirable. The only question from the staffs' perspective is that this zoning district is intended to be for publicly owned and not for profit owned open spaces and recreational areas. This may need to be discussed further with the applicant. Rezoning this area to OS/P would be consistent with the open space land use designation on the future land use map.

Included in your packet is a copy of Ordinance 16-02 and Resolution PC-16-01 which recommends approval of Ordinance 16-02.

RESOLUTION PC-16-01

FARRAGUT MUNICIPAL PLANNING COMMISSION

A RESOLUTION TO APPROVE AN AMENDMENT TO THE FARRAGUT ZONING MAP, ORDINANCE 86-16, TO RECOMMEND THE APPROVAL OF THE REZONING OF PARCEL 58, TAX MAP 151, LOCATED AT 12639 KINGSTON PIKE, APPROXIMATELY 30.13 ACRES, FROM R-2 (GENERAL SINGLE-FAMILY RESIDENTIAL) AND FPD (FLOODPLAIN OVERLAY) TO C-1 (GENERAL COMMERCIAL), OS-P (OPEN SPACE/PARK), AND FPD (FLOODPLAIN OVERLAY)

WHEREAS, the Tennessee Code Annotated, Section 13-4-201et seq, provides that the Municipal Planning Commission shall make and adopt a general plan for the physical development of the municipality; and

WHEREAS, the Farragut Municipal Planning Commission has adopted various elements of a zoning plan as an element of the general plan for physical development; and

WHEREAS, a public hearing was held on this request on January 21, 2016;

NOW, THEREFORE, BE IT RESOLVED that the Farragut Municipal Planning Commission hereby recommends approval to the Farragut Board of Mayor and Aldermen of an ordinance, amending Ordinance 86-16, of the Farragut Zoning Ordinance, by adding Ordinance 16-02.

ADOPTED this 21st day of January, 2016.

Rita Holladay, Chairman

Edwin K. Whiting, Secretary

ORDINANCE: 16-02
PREPARED BY: Shipley
REQUESTED BY: Paul R. Swan
CERTIFIED BY FMPC: January 21, 2016
PUBLIC HEARING: _____
PUBLISHED IN: _____
DATE: _____
1ST READING: _____
2ND READING: _____
PUBLISHED IN: _____
DATE: _____

AN ORDINANCE AMENDING THE ZONING ORDINANCE OF THE TOWN OF FARRAGUT, TENNESSEE, ORDINANCE 86-16, AS AMENDED, PURSUANT TO SECTION 13-4-201, TENNESSEE CODE ANNOTATED.

BE IT ORDAINED by the Board of Mayor and Aldermen of the Town of Farragut, Tennessee, that the Farragut Zoning Ordinance, Ordinance 86-16, as amended, is hereby amended as follows:

SECTION 1.

The Farragut Zoning Ordinance, Ordinance 86-16, as amended, is hereby amended by rezoning Parcel 58, Tax Map 151, located at 12639 Kingston Pike, from General Single-Family Residential (R-2) and Floodplain Overlay (FPD) to General Commercial (C-1), Open Space/Park (OS-P) and Floodplain Overlay (FPD) (Exhibits A and B).

SECTION 2.

This ordinance shall take effect from and after its final passage and publication, the public welfare requiring it.

 Dr. Ralph McGill, Mayor

 Allison Myers, Town Recorder

Certified to the Farragut Board of Mayor and Aldermen this _____ day of _____, 2016, with approval recommended.

Rita Holladay, Chairman

Edwin K. Whiting, Secretary

FARRAGUT MUNICIPAL PLANNING COMMISSION



farragut

**Ordinance 16-02
Exhibit A**

Rezone
Parcel 58, Tax Map 151

From
R-2 (General Single-Family Residential)
and FPD (Floodplain Overlay) Districts
to

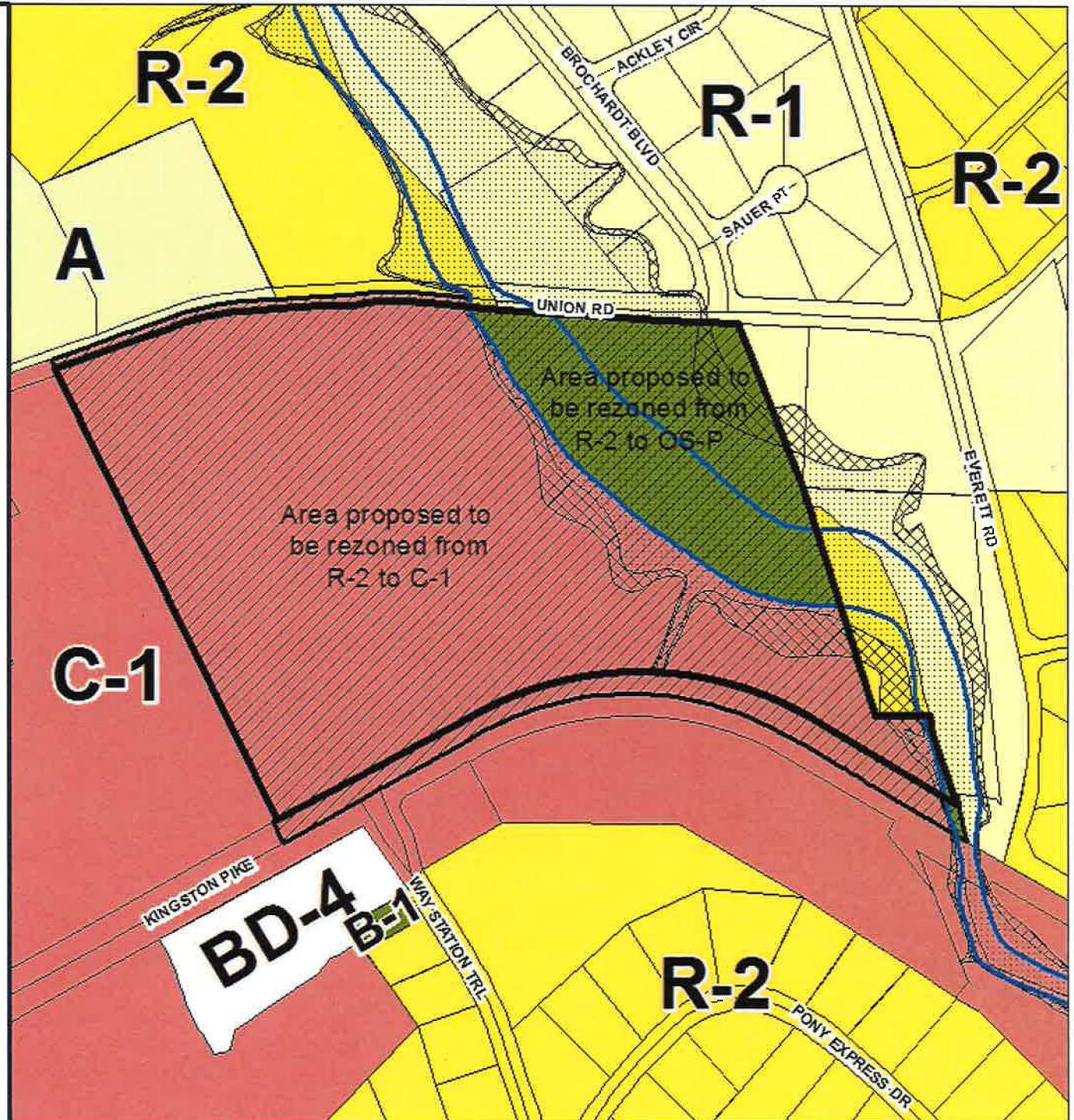
C-1 (General Commercial),
OS-P (Open Space/Park), and
FPD (Floodplain Overlay) Districts

Legend

-  Subject Property
-  FEMA_Floodway
-  FPD-100 Year
-  FPD-500 Year
-  Proposed OS-P
-  Proposed C-1
-  Parcels
-  A, Agricultural
-  B-1, Buffer
-  R-1, Rural Single-Family Residential
-  R-2, General Single-Family Residential
-  C-1, General Commercial
-  Streets



1 in = 300 ft



MEETING DATE: January 21, 2016

REPORT TO THE FARRAGUT MUNICIPAL PLANNING COMMISSION

PREPARED BY: Mark Shipley, Community Development Director

SUBJECT: Discussion on amendments to Chapter 2 of the Farragut Zoning Ordinance to provide for new definitions related to elderly housing

INTRODUCTION AND BACKGROUND: At the December planning commission meeting, the staff presented a rough draft of some provisions for an expanded Community Service (S-1) Zoning District or new Civic/Institutional Zoning District. The staff mentioned that, as part of this effort, the Town's current provisions and definitions associated with elderly housing and nursing homes would need to be re-assessed.

At the December meeting some terms were noted but there were no definitions provided. Based on the feedback received and subsequent discussions with individuals that work with elderly care facilities, the staff is proposing to replace elderly housing with a new term "assisted-care living facility" and create two new terms that address additional elderly care type projects. Those new terms are "independent living and care facility" and "senior living community." No changes are proposed to the current definitions of "nursing home" and "nursing home unit."

These definitions are included on the following page. This is for discussion purposes only.

Chapter 2. Definitions

Comment: The terms below are referenced in the draft Community Service or Civic/Institutional District. As proposed, the existing term for “elderly housing” will be deleted and substituted with “assisted-care living facility.” In addition, new terms are proposed for “independent living and care facilities” and “senior living communities.” The definitions related to nursing homes and nursing home units will remain unchanged.

The terms below have been developed in consultation with professionals that work with the development and management of elderly care facilities of various types.

Assisted-Care Living Facility: A building, establishment, complex or distinct part thereof that accepts primarily aged persons for domiciliary care and services. Such facilities are licensed by the State of Tennessee. The parcel or tract of land and the units within the facility shall remain under single ownership so that individual units are not transferrable in fee simple.

Assisted-Care Living Facility Resident: Primarily an aged person who requires domiciliary care, and who upon admission to the facility, if not ambulatory, is capable of self-transfer from the bed to a wheelchair or similar device and is capable of propelling such wheelchair or similar device independently. Such a resident may require one or more of the following services: room and board, assistance with non-medical activities of daily living, administration of typically self-administered medications, and medical services subject to the limitations of these rules.

Independent Living and Care Facility: A residential use to house older persons who are frail but not infirmed that require a lower level assistance than residents in assisted care living facilities. Independent living residents do not require assistance or acute nursing home care but rather receive limited services including, but not restricted to nursing care, meals, housekeeping, social programs, daily maintenance and other services. Such homes may be licensed by the State of Tennessee as homes for the aged and are intended to be residential in character and will generate lower levels of impact than traditional residential units. Independent care facilities may be part of a Senior Living Community. The parcel or tract of land and the units within the facility shall remain under single ownership so that individual units are not transferrable in fee simple.

Nursing Home: Unchanged from current definition. (*Currently defined as “a facility licensed as such by the Tennessee Department of Health and Environment or other appropriate state agency”*)

Nursing Home Unit: Unchanged from current definition. (*Currently defined as “one (1) or more rooms designed for occupancy by persons requiring skilled or intermediate nursing care located in a nursing home licensed by the Tennessee Department of Health and Environment or other appropriate state agency”*)

Senior Living Community: A specified combination of residential uses that shall include single family housing (including duplexes and multi-family townhouses) and a minimum combination of at least two of the following three uses: Independent Living and Care Facility, Assisted Care Living Facility, and Nursing Home Unit, where the average length of stay in these type facilities is more than 45 days. At least one of such facilities must be State-licensed. Other non-residential

uses may be included in this type of development when integrally designed to be compatible and accessory to the primary uses and intent of the development as a whole. The parcel or tract of land and the units within the facility shall remain under single ownership so that individual units are not transferrable in fee simple.

DRAFT

MEETING DATE: January 21, 2016

REPORT TO THE FARRAGUT MUNICIPAL PLANNING COMMISSION

PREPARED BY: Mark Shipley, Community Development Director

SUBJECT: Discussion on amendments to the text of the Farragut Zoning Ordinance, Chapter 3, Section XX., Community Service District (S-1)

INTRODUCTION AND BACKGROUND: At the December planning commission meeting, an initial draft of proposed amendments to the zoning ordinance were presented in relation to the existing Community Service (S-1) Zoning District. As proposed, the current provisions would be replaced with new provisions.

In general, the proposed amendments were favorably received. The staff has included in your packet a revised draft that addresses the comments that were noted at the December meeting as well as some clarifications on certain provisions. The amended provisions are shown in red and the staff has included commentary that describes the proposed amendments. A question at this stage of the process is whether the Community Service (S-1) title should be retained or replaced with a new title for Civic/Institutional (C/I).

If the S-1 title is changed, the properties that are currently zoned S-1 will have to be rezoned to Civic/Institutional (C/I). This would not be a direction that the staff would recommend. This item is for discussion purposes only.

FMPC Workshop Discussion – January 21, 2016

Note: This is a revised draft based on the comments provided at the December planning commission meeting. New modifications are shown in red. Formatting has not been added at this point since this is still a draft.

Chapter 3, Section XX. – Community Service District (S-1) or Civic/Institutional District (C/I)

Comment: A clarification is needed as to whether the existing Community Service District (S-1) designation would be retained so that the zoning map would not need to be amended or the district re-named to Civic/Institutional. If S-1 is replaced and renamed it will require amendments to the zoning map for those properties currently zoned S-1.

A. General description

Consistent with adopted plans and policies of the Town, this district is intended primarily to provide for the development of community and public types uses. This district is also intended as a transitional district to lower density residential by providing for low impact quasi institutional/residential uses that have minimal traffic demands. Key to this district is continuity in general building and site development form.

B. Permitted principal and accessory uses and structures

Assisted-care living facilities

Cemeteries and historical monuments

Churches and other places of worship

Community facilities

Cultural activities

Independent living and care facility

Nursing homes

Parks

Schools, public and private

Senior living community

Utility uses

Comment: After looking into terminology in more depth, the staff is proposing to redefine “elderly housing” as “assisted-care living facilities” and to provide two other terms, “independent living and care facility” and “senior living community”, that would provide for different types of developments that would be targeted toward seniors.

C. Minimum development requirements

The property must directly access a street that is classified on the Major Road Plan as a collector or arterial.

A site plan and landscape plan for the development shall be submitted as regulated in Chapter 4. The approved plan shall be in compliance with the Farragut Comprehensive Land Use Plan, the Pedestrian and Bicycle Plan, the Architectural Design Standards, and all other adopted plans and ordinances of the Town of Farragut, **as amended**.

Prior to site plan submittal, the applicant shall conduct a **site inventory** of the natural features on the property so as to determine those areas that should be preserved and those that may be most appropriate for development. This **inventory** should be discussed with the Town staff prior to finalizing plans for review. **The inventory should demonstrate that the Town's adopted land use related documents, such as the Tree Protection Ordinance, the Sinkhole Ordinance, the Stormwater Ordinance, and other adopted documents that may be applicable to the proposed development have been referenced.**

From the site inventory, a sketch plan is required in consultation with the Town staff with the first step in the preparation of such plan being the establishment of potential building locations that would minimize site grading and preserve to the greatest extent possible the natural topography, especially where tree covered areas exist. The road and trail systems would then be connected through the development and to abutting properties. The maximum slope created as a result of a proposed development shall not be greater than 2.5:1 (run/rise).

D. Area regulations

Front yard. All structures, including parking lots, shall be set back a minimum of twenty (20) feet from the nearest point of any right of way. This excludes signage (which would be subject to the provisions in the sign ordinance), detention basin structures (if associated with a low impact development measure), and/or non-roofed structures that provide for pedestrian engagement with the public street (such as outdoor patios, pedestrian facilities, sitting areas, public art). With the exception of linear pedestrian facilities that connect to similar facilities in the right of way, no structures shall encroach into the public right of way and/or platted utility easements.

Service areas and their associated structures (e.g. dumpsters, loading areas, utility buildings) shall be located to the side or rear of a building so as to minimize visual impacts from the street and foster a more pedestrian friendly streetscape.

Side and rear yards. Unless provided for otherwise in this ordinance, where an adjacent property is zoned residential **and/or agriculture**, all principal buildings that are positioned along a side or rear property line shall be set back a minimum of fifty (50) feet from the nearest side or rear property line (s).

Where an adjacent property is zoned non-residential **and/or non-agriculture**, all structures shall be set back a minimum of twenty-five (25) feet from the nearest side or rear property line (s).

Unless specified otherwise in this ordinance, where an adjacent property is zoned residential, all accessory structures, excluding fences, pedestrian facilities, signage, and structures associated with low impact development stormwater measures, shall be set back a minimum of fifty (50) feet from the nearest side or rear property line. Mechanical units five (5) tons or greater, dumpsters, and other service areas shall be set back a minimum of one-hundred (100) feet from all side or rear property lines where the abutting property is zoned residential.

E. Transition areas

Unless specified otherwise in this ordinance, where an abutting property is zoned residential **and/or agriculture**, a transition area of at least fifty (50) feet in width shall be provided. The intent of a transition area is to provide for a visually appealing interface to an abutting residential area that will serve to establish protection for but also context appropriate integration with the surrounding plan of development. Transition areas shall accommodate the connectivity requirements of this district. This will result in some modest breaks in the transition element. As provided for in this district, transition areas **shall include, at a minimum, any one of the following or a combination thereof:**

- a. A landscaped low impact development stormwater management area, such as a rain garden(s), bioswale(s), or naturalized areas with existing and/or new tree plantings that, in total, consume the full depth of the transition area. At a minimum, such an area shall include a plant unit count that equals the count required for a **thirty-five (35) foot buffer strip**, as provided for in Chapter 4 of this ordinance. Under this option, the arrangement of plant material may include more flexibility than an traditional buffer strip planting, provided this arrangement best promotes the intended stormwater function of the low impact development measure(s);
- b. A heavily landscaped pocket park area designed for passive use and that is approved as part of a site and landscape plans as an equivalent to other natural transition measures provided for in this subsection. Such area could serve as a shared amenity between a use in this district and an abutting residential neighborhood;
- c. A traditional planted buffer strip area that complies with the **thirty-five (35) foot** buffer strip plantings provided for in Chapter 4 of this ordinance;
- d. An existing tree covered area that consumes largely the full depth of the transition area and where the existing tree count within such area clearly exceeds the plant unit count and minimum tree sizes for a **thirty-five (35) foot** buffer strip per 100 linear feet;
- e. **Where freestanding attached and detached independent and catered living residential buildings are proposed around the periphery of a senior living community that abuts property zoned residential and/or agriculture, such buildings may be proposed as the transitional element. In order to qualify as such, buildings shall be generally consistent with the predominant size, scale, height,**

and arrangement of residential structures that abut that portion of the senior living community. Where the abutting property is undeveloped and zoned residential and/or agriculture and transitional buildings are proposed along this interface in the senior living community, the size, scale, height, and arrangement of residential structures shall be reviewed as part of the concept plan that is required for the senior living community.

As part of the analysis of appropriateness of the transitional buildings along the undeveloped properties, the planning commission shall consider the surrounding context and the overall concept plan proposed by the applicant. Buildings proposed for transitional elements shall comply with the setbacks, platted building envelopes, and landscape planting required in association with a senior living community. These specific provisions are addressed in Chapter 4 of this ordinance.

Where a development combines different transition elements these shall be considered as part of the **sketch plan or, as applicable, concept plan and then reflected on the site and landscape plans**. Such an approach must clearly fulfill the intent of the transition area provision. In all cases, existing tree covered areas within transitions shall be protected. **Exceptions would apply** for the removal of invasive exotic plant material and context appropriate pedestrian and/or vehicular connections and utilities adjacent to such improvements that bisect the transition area in a generally perpendicular manner.

Transition areas shall not be required for developments that abut properties that are not zoned residential and/or agriculture.

Comment: Transition option "e" has been re-written to address a scenario where an abutting property is zoned residential or agriculture and is currently undeveloped. A sentence has also been added to clarify that a transition is not required where an abutting property is zoned residential or agriculture.

F. Streetscape and outdoor open space

As part of a site plan review, a context appropriate active and interconnected streetscape with visually appealing and functional public spaces is encouraged. Some specific design objectives would be as follows:

- a. Locate and orient outdoor open space (e.g. plazas, courtyards, patios, outdoor seating and benches, small park spaces or landscaped features) to provide a focal point to be actively used.
- b. Provide landscape enhancements (e.g. bioswales, rain gardens, planters, flower gardens) to add visual interest, screen parking areas, and complement outdoor open spaces.

G. Connectivity

Development shall provide for context appropriate pedestrian and vehicular connectivity. This shall include providing connections within the property and to abutting properties, pedestrian connections into the development from the public street(s), and the construction of pedestrian facilities along the public street(s) frontages.

H. Low Impact Development

Development shall incorporate a minimum of one (1) of the following Low Impact Development (LID) practices into the design:

- a. Twenty-five (25) percent of the parking lot being constructed with permeable pavers;
- b. Stormwater runoff draining to rain gardens;
- c. A building(s) being constructed with a vegetated roof, commonly referred to as a green roof;
- d. Stormwater draining to bioswales/bioretention facilities; or
- e. Rainwater being harvested for irrigation or gray water uses.

I. Maximum Lot Coverage

Total lot coverage — **Sixty (60) percent**, except as provided for elsewhere in this ordinance.

Comment: Per the discussion at the December meeting, this was increased from 50 to 60 percent and is consistent with the coverage currently permitted in the S-1 Zoning District. A question for the commission to consider is whether this should be increased further to 70% in order to account for additional pedestrian facilities that would be encouraged for many of the uses in this zoning district.

J. Land area

Minimum lot size of three (3) acres, except as provided for elsewhere in this ordinance.

K. Height

No principal building shall exceed two and one-half (2.5) stories or thirty-five (35) feet in height. No accessory structure shall exceed fifteen (15) feet in height, except as provided for elsewhere in this ordinance.

L. Parking, as regulated in Chapter 4

Comment: Same as existing S-1 District. Some parking space requirements will be revisited and presented as part of this amendment process.

M. Lighting, as regulated in Chapter 4, **Sections (Outdoor Site Lighting and the provisions for Senior Living Communities)**

(Comment: This was discussed in some depth at the December meeting and the general feeling was that lighting should be encouraged but not required to have a residential feel

where the abutting property was zoned residential. The Town's Outdoor Site Lighting provisions in Chapter 4 provide for lighting that does not create glare and that has minimal footcandles at the property lines. Providing for residential scale lighting for certain projects that may contain single family dwellings and serve as a transition to lower density residential could aid in the transition effect. Consequently, in Chapter 4, some additional lighting provisions are proposed in relation to senior living communities and independent living and care facilities.

DRAFT

MEETING DATE: January 21, 2016

REPORT TO THE FARRAGUT MUNICIPAL PLANNING COMMISSION

PREPARED BY: Mark Shipley, Community Development Director

SUBJECT: Discussion on the creation of Senior Living Community provisions in Chapter 4 of the Farragut Zoning Ordinance

INTRODUCTION AND BACKGROUND: At the December planning commission meeting, draft provisions were discussed in relation to what was referred to as an “elderly care community.” Since the meeting and as part of a review of terms associated with elderly care developments, the “elderly care community” phrase has been replaced with “senior living community.” This term is more typical of the type of large acreage multiple facility developments that would be associated with this use.

Included in the packet is a revised draft of amendments to Chapter 4 that would replace the elderly housing provisions with new provisions for senior living communities. This item is for discussion purposes only.

Chapter 4. Section....Senior Living Community *(Comment: Below would be a proposed new section in Chapter 4 that would address Senior Living Communities)*

..... **Senior Living Community.**

Intent.

It is the intent of this section to establish development requirements that would be specific to what is defined as a **senior living** community in this ordinance. Unless specified below, all other requirements associated with this use shall be provided for in the base zoning district.

General plan/plat approval requirements.

After consulting with the Town staff as part of a preliminary sketch plan review, a concept plan, as regulated in the applicable portions of the Farragut Subdivision Regulations, shall be submitted to the planning commission for review and approval. All applicable requirements shall be included as part of the development plan submission. The concept plan shall be of the entire development and is required whether the project is developed in multiple phases or not. The concept plan is a precursor to the more detailed site plan that will subsequently be required per the applicable provisions of this section and the base zoning district.

Where public streets and/or public utilities are to be constructed or extended in association with the overall development, a preliminary plat and final plat shall be provided as regulated in the Farragut Subdivision Regulations. All applicable requirements shall be included as part of the plat submissions.

The approved plans and plats shall be in compliance with the Comprehensive Land Use Plan, the Pedestrian and Bicycle Plan, the Architectural Design Standards, and all other adopted plans and ordinances of the Town of Farragut, as amended.

Land area.

In addition to the other requirements of this section, a senior living community shall only be permitted on tracts that are contiguous and that, in total and as part of the concept plan approval, are at least ten (10) acres.

Height.

Whenever the adjacent property is zoned residential and/or agricultural, no buildings to be constructed within 100 feet of a periphery property line shall exceed the maximum height permitted in the base zoning district.

When abutting all other zoning districts or where buildings are greater than 100 feet from a periphery property line such buildings shall not exceed three (3) stories, or forty-five (45) feet in height. No accessory structure shall exceed fifteen (15) feet in height, except as provided for elsewhere in this ordinance.

Comment: A height allowance of up to 3 stories or 45 feet is proposed to provide for different options and enhanced flexibility in the development of a senior living community. This language

is virtually identical to the provisions associated with the Multi-Family Residential (R-6) Zoning District and could provide for a more efficient use of land.

Access.

The primary access to the development shall be from a street having a classification of major collector or arterial on the Major Road Plan. Such street, based on its classification on the Major Road Plan, shall be built to a standard that is generally consistent with the cross sections provided for in the Subdivision Regulations and the Town of Farragut Pedestrian and Bicycle Plan, as amended. Private accessways internal to the development and that connect to public streets shall be constructed with compaction, aggregate base, binder, and surface course that complies with the standards for a local street in the Farragut Subdivision Regulations.

Accessory uses.

Any accessory use, such as dining facilities, personal care services, retail stores, or pharmacies shall be only for the use and benefit of the residents of the development and shall be oriented so that such uses are not readily identifiable from a public street or adjacent residentially zoned property.

Freestanding independent and catered living buildings.

As defined, senior living communities may include smaller single family attached and detached residential scale buildings that provide housing for individuals that are more independent than those living in a traditional facility. The provisions below are specific to the form and arrangement of such buildings as part of a senior living community.

- a. Building arrangement. **If arranged around the periphery and the abutting property is zoned residential or agriculture, freestanding buildings may be used as form based transition from the senior living community. The building envelopes shall be shown on the concept and site plan and platted as part of a final plat. The envelopes must demonstrate that the freestanding buildings are at least twenty (20) feet apart, at least thirty-five (35) feet from the periphery of an abutting residential and/or agriculture zoning district, and are generally consistent with the predominant size, scale, height, and arrangement of residential structures that abut that portion of the senior living community. Where the abutting property is undeveloped and zoned residential and/or agriculture and transitional buildings are proposed along this interface in the senior living community, the size, scale, height, and arrangement of residential structures shall be reviewed as part of the concept plan.**
As part of the analysis of appropriateness of the transitional buildings along the undeveloped properties, the planning commission shall consider the surrounding context and the overall concept plan proposed by the applicant.
- b. Landscaping. Though freestanding buildings may serve as form based transition to abutting residential areas they shall be constructed so as to avoid blank walls facing the periphery and shall include landscaping within the thirty-five (35) foot peripheral setback. Such landscaping shall be shown and approved as part of the overall landscape

plan for the elderly care community. The landscaping shall primarily ensure a naturalized transition and shall not include barriers such as screen walls and privacy fences.

All buildings, including residential scale freestanding independent and catered living buildings, within a senior living community shall comply with the Town's adopted Architectural Design Standards. This will help ensure effective transitions to abutting residential areas.

Parking.

As provided for in Chapter 4, Parking and Loading.

Comment: Please see next section.

Lighting.

As provided for in Chapter 4, Outdoor Site Lighting, with the following additional provisions:

- a. Exterior lighting within the senior living community shall have a consistency.
- b. Street Lighting shall follow the requirements in Chapter 3, Section XXVII. K. 2. of the Zoning Ordinance.
- c. Parking lot lights shall have decorative posts and brackets and a decorative fixture, such as a bell shaped style fixture. The bulbs shall be contained within the fixture so that they are not visible.
- d. Building mounted lights shall be decorative, such as the acorn, lantern, or bell shaped styles. The bulbs shall be contained within the fixture so that they are not visible.
- e. Bollard lighting shall be permitted provided the bulbs are contained within the fixture so that they are not visible.

Chapter 4. Parking and Loading

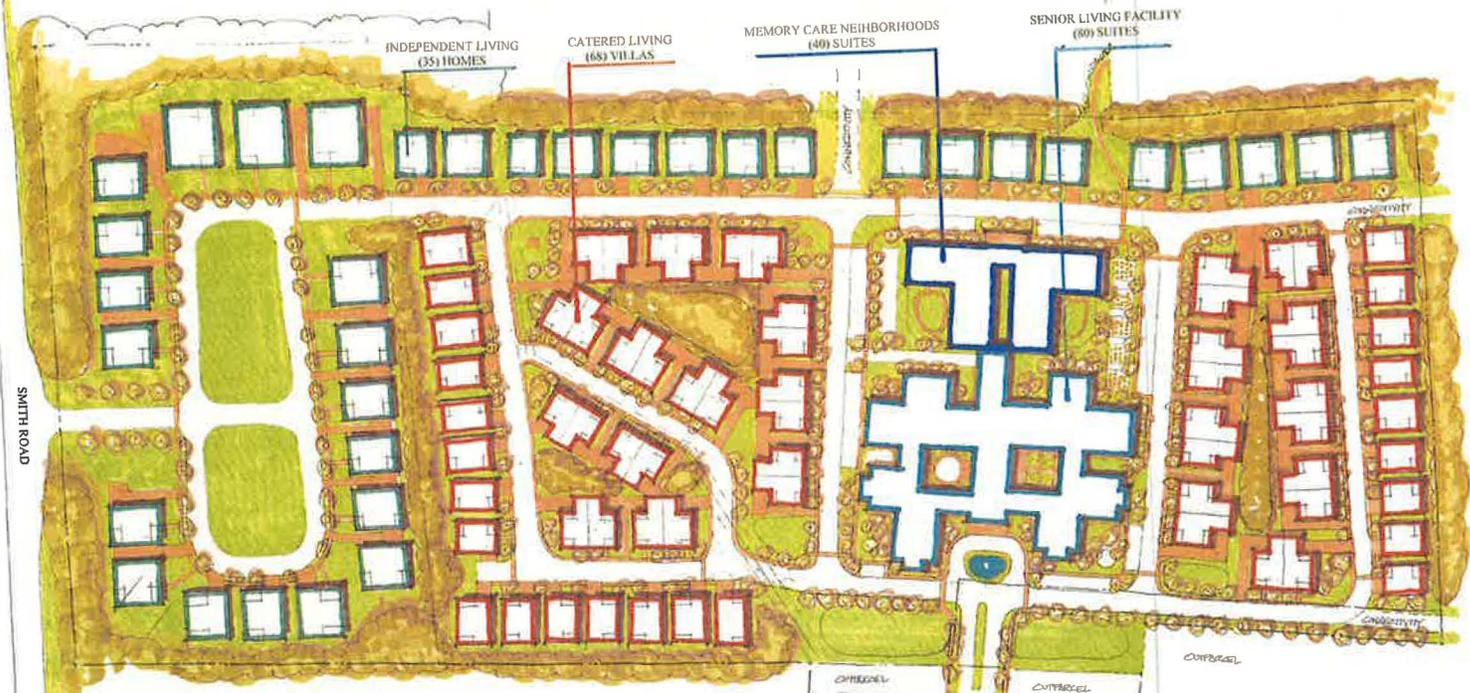
Replace “elderly housing” with “assisted-care living facility” and provide for three fourths ($\frac{3}{4}$) parking spaces per each housing unit.

Comment: This is the same parking space allocation that is currently provided for elderly housing. Only the use name would change.

Independent living and care: One (1) parking space per bedroom and one (1) guest space per ten (10) bedrooms.

Comment: The above parking space provisions have been formulated in consultation with individuals that frequently work with elderly care developments. The parking space allocations for nursing homes are proposed to remain unchanged.

DRAFT



SMITH ROAD

CONCEPT PLAN



THE
VILLAGES
OF FARRAGUT

OPTIONAL

OPTIONAL

OPTIONAL

PETERSON ROAD

KINGSTON PIKE

RECEIVED
DEC 16 2015
TOWN OF FARRAGUT

Asbury Place - Maryville, TN



Shannondale Maryville, TN



MEETING DATE: January 21, 2016

REPORT TO THE FARRAGUT MUNICIPAL PLANNING COMMISSION

PREPARED BY: Mark Shipley, Community Development Director

SUBJECT: Discussion on amendments to the Comprehensive Land Use Plan (CLUP)

INTRODUCTION AND BACKGROUND: At the December planning commission meeting, the Town Attorney discussed the CLUP and why it was not adopted by ordinance (with the exception of the Mixed Use Town Center). The staff then provided some amended language for Policy 1 in the CLUP. Below is the language that was accepted by the planning commission and which includes some minor modifications suggested by the Town Attorney.

Policy 1. Land use decisions in the Town should reference, for guidance purposes, the CLUP and other applicable Town adopted documents. In terms of the CLUP, the objective would be to make decisions, based on the best available information, that are consistent with the vision outlined in the strategies identified in the CLUP.

Since it is a policy document, the plan would only need to be amended in the area outside the Mixed Use Town Center when a zoning map amendment request is inconsistent with a property's current designation on the future land use map. In this manner, the zoning map and the plan are consistent. In all cases, any actions that vary from the plan shall be specifically explained in the minutes that are applicable to the decision.

RECOMMENDATION: This item is on the agenda since amendments related to the CLUP will be continuing. The staff will be finishing the S-1 amendments and begin working on the development of a Mixed Use Neighborhood District. This was identified as a priority of the Board of Mayor and Aldermen and is also referenced in the CLUP.